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Part One – Approaches to Implementing Mixed-Use Zones

Roll-Out Strategy - In this step we determine the best way to package and introduce the mixed-use districts given the political and economic realities of Moreno Valley. What will be the phasing? Since Moreno Valley is not that familiar with mixed-use development, we may want to consider a phased approach that begins with introducing a less-threatening option, such as a mixed-use overlay district. In this way, Moreno Valley may experience early successes that can pave the way for more widespread acceptance. However, just allowing mixed-use development is often not enough to stimulate economic development. Can Moreno Valley afford to wait or can it be somewhat more aggressive by establishing new mixed-use zones and/or creating a floating mixed-use zone process that will allow expansion of mixed-use development as demand builds? Creating mixed-use zones based upon form-based regulations would require an extensive public education and outreach process, which is probably not financially or politically feasible at this time. In addition, other tools are important for promoting high-quality development along Alessandro Boulevard, including street and streetscape guidelines and a mobility plan.

	Approach	Process	Result	Comments
Mixed-Use Zone	Mixed-Use Zone, Design Guidelines, and Mobility Plan (See Parts Two, Three, and Four)	City adopts regulations that establish new mixed-use zones and also criteria and procedures for establishing mixed-use zones in the future. Mapping process can be concurrent with or after public hearings for text adoption. City also adopts Street and Streetscape Design Guidelines, Mixed-Use Development Design Guidelines, and Mobility Plan by resolution.	Base zone replaced by mixed-use zone. Design Guidelines provide illustrations and visual examples. Development has to support Mobility Plan.	Not effective if properties are not rezoned (if creating new districts) Changes existing development rights where zone established Can be reused in other areas Applies to specifically designated area(s) Establishment of new mixed-use zones is either a City-driven process or a developer-driven process. Less difficult to interpret Provides guidance to City and developers for acceptable quality and location of mixed-use development and streetscape enhancements
	Form-Based Mixed-Use Zone	City enacts prescriptive form-based standards for development on private and public property	Base zone replaced by form-based mixed-use zone. Discretionary development review process is no longer necessary. Projects must comply with form-based standards.	Outreach effort to public and within City departments is critical Addresses block sizes and streetscape Adoption of mandatory form-based provisions can be politically challenging
Note on Form-Based Regulations: Primary focus is on regulating the physical form of buildings and streets to create predictable built results and a high-quality public realm. Less focus on uses, districts, and dimensional standards. Applies to private and public property. Although highly illustrated, they are regulations and not design guidelines. Prescriptive: Tells you what you must do				

Part One – Approaches to Implementing Mixed-Use Zones (continued)

	Approach	Process	Result	Comments
Mixed-Use Overlay Zone	Mixed-Use Overlay Zone, Design Guidelines, and Mobility Plan (See Parts Two, Three, and Four) 	City adopts regulations that establish new mixed-use overlay zones and also criteria and procedures for establishing mixed-use zones in the future Mapping process can be concurrent with or after public hearings for text adoption. City also adopts Street and Streetscape Design Guidelines, Mixed-Use Development Design Guidelines, and Mobility Plan by resolution.	Both base zone and overlay zone standards apply. Property owner chooses whether to develop under the base zoning district provisions or the mixed-use overlay provisions Development has to support Mobility Plan	Does not change existing development rights Can be reused in other areas Easier to adopt when introducing mixed-use zoning to an area that is not familiar with it Only applies to a specifically designated area Does not address block sizes or streetscape More difficult to administer and interpret Just allowing mixed-use may not be enough incentive for development to occur
	Form-Based Mixed-Use Overlay Zone	City enacts form-based standards and draws boundaries of mixed-use overlay zone(s). Development in compliance with form-based standards is highly incentivized through by-right processing. Public outreach prior to public hearings for adoption necessary to educate about form-based approach to land use regulations	Both base zone and form-based overlay zone standards apply. Property owner chooses whether to develop under the base zoning district provisions or the form-based mixed-use overlay provisions.	Does not change existing development rights Can be reused in other areas BIG incentive - Projects that conform to form-based provisions do not go through the public hearing process.  Adoption of optional form-based provisions less politically challenging than mandatory form-based provisions More difficult to administer and interpret Just allowing mixed-use may not be enough incentive
Note on Form-Based Regulations: Primary focus is on regulating the physical form of buildings and streets to create predictable built results and a high-quality public realm. Less focus on uses, districts, and dimensional standards. Applies to private and public property. Although highly illustrated, they are regulations and not design guidelines. Prescriptive: Tells you what you must do				

Part Two – Draft Criteria for Establishing Mixed-Use Zones

Sections:

- 9.074.010 – Establishment of Mixed-Use Zones
- 9.074.020 – Preferred Types of Mixed-Use Zones
- 9.074.030 – Application Filing and Initial Review
- 9.074.040 – Application Filing and Processing
- 9.074.050 – Review Criteria

[STAFF: This Chapter complements the process for approving mixed-use development by Conditional Use Permit in areas outside mixed-use zones as specified in current code Section 9.03.060 (Planned Unit Developments).

9.074.010 – Establishment of Mixed-Use Zones



A mixed-use zone or its amendment may be initiated in the following manner:

- A. City Council.** By the City Council with or without a recommendation from the Planning Commission;
- B. Planning Commission.** By the Commission; or
- C. Property owner(s).** By an application filed by the owner(s) of one or more parcels that would be the part of the mixed-use zone. If initiated by a property owner(s), the following is strongly encouraged.
 - 1. Pre-application conference. A pre-application conference with the Development Review Committee before the filing of a mixed-use zone application is strongly encouraged.
 - 2. Neighborhood meeting(s). A neighborhood meeting is strongly encouraged with surrounding property owners and arranged by the project proponent(s).

9.074.020 – Preferred Types of Mixed-Use Zones



STAFF: Here we can expand upon concepts in the *Vision Plan for the Alessandro Boulevard Corridor* and add descriptive language for preferred types of mixed-use zones, including activity nodes and areas in between activity nodes (referred to in the *Vision Plan for the Alessandro Boulevard Corridor* as Corridor General 1, Corridor General 2, and Corridor Adjacent zones.

9.074.030 – Application Filing and Initial Review



If initiated by a property owner(s), the mixed-use zone application or an amendment shall comply with all of the following.

- A. Filing.** An application for a mixed-use zone shall be filed and processed in compliance with Section 9.02.050 (Amendments to Zoning Districts or other Provisions of Title 9) and this Chapter. The application shall include the information and materials [*specified by the Department for mixed-use zone applications VS specified in Section 9.074.030 (Application Filing and Processing)*], together with the required fee in compliance with the City’s Planning Fee Schedule. It is the responsibility of the applicant to provide evidence in support of the review criteria in Section 9.074.040 (Review Criteria) and the required determinations identified in Section 9.02.050.D (Amendments to zoning districts or other provisions of Title 9 – Required Determinations).
- B. Project review procedures.** Following receipt of a completed application, the Director shall investigate the facts necessary for action consistent with the purpose of this Chapter.
- C. Notice and hearings.**
 - 1. Public hearings shall be required for the Planning Commission’s recommendation and the City Council’s action on an application to establish a mixed-use zone or an amendment.
 - 2. The public hearings shall be scheduled once the Director finds the application complete in compliance with Chapter 9.02 (Permits and Approvals).
 - 3. Notice of the public hearings shall be given and the hearings shall be conducted in compliance with Chapter 9.02 (Permits and Approvals).

9.074.040 – Application Filing and Processing



STAFF: Concept Plan Definition: Each zone district is primarily intended for a predominant type of land use or mix of land uses with specific physical requirements which regulate structure size and placement on the site. A concept plan is used to review the impact of the proposed land uses on the adjacent properties, neighborhood, road systems, and existing and planned infrastructure and to determine the need for additional dedication and design criteria. It is intended to be a general outline of a proposed zone district or project which shows access, primary circulation, areas to be used for buildings, parking, landscaping, and buffering, and areas which should be preserved or protected.

If initiated by a property owner(s), the mixed-use zone application shall comply with the following:

A. Mixed Use Zone (MUZ) Concept Plan.

- 1. The application to establish a mixed-use zone shall include a MUZ Concept Plan that describes and illustrates, in written and graphic format, the intended locations and quantities of proposed uses, the layout of proposed vehicle and pedestrian access and circulation systems, provision of transit facilities, and areas designated to meet requirements for open space, parking, on-site amenities, utilities, and landscaping. It shall include statements or conceptual plans describing how signage and lighting will be designed in a unified and integrated manner on site. In addition, the MUZ Concept Plan shall indicate how the proposed uses will relate to the surrounding properties.

2. Waiver of Mixed-Use Zone (MUZ) Concept Plan. The requirement for a MUZ Concept Plan is waived if a complete development plan for the entire zone district is submitted.
 3. Subdivision.
 - a. Subdivision of a site shall comply with the approved MUZ Concept Plan or development plan. If revisions are required, the plan shall be amended prior to approval of the subdivision plat.
 - b. An approved MUZ Concept or development plan may be used to fulfill the requirement of a preliminary plat when all of the information and requirements for both the MUZ Concept Plan or development plan and the preliminary plat are provided.
 4. Expiration of MUZ Concept Plan. A MUZ Concept Plan shall expire under any of the following circumstances  
 - a. Six (6) years have occurred since approval of the MUZ Concept Plan and no development plan that implements the MUZ Concept Plan has been approved; or
 - b. Six (6) years have occurred since approval of a development plan that implements the MUZ Concept Plan.
 5. Extension of MUZ Concept Plan. A one year extension may be issued by the Director, provided that a written request has been received prior to the expiration of the MUZ Concept Plan, and the Director has determined that no major changes in the City's development standards, or changes in the development pattern of the surrounding properties, has occurred.
 6. Amendment to MUZ Concept Plan. A request for an amendment to a MUZ Concept Plan shall include maps of the entire MUZ zone and shall update all development information in written and graphic format since adoption of the MUZ Concept Plan or the most recent amendment.
- B. Phasing Plan.** When development is anticipated to occur in multiple phases over a number of years, an application to establish a mixed-use zone shall include a phasing plan that describes and illustrates, in written and graphic format, implementation of the MUZ Concept Plan. A phasing plan shall be a working document used to identify the sequence, timing, and responsibility for construction of necessary utilities and infrastructure. The requirement for a phasing plan is waived if a complete development plan for the entire zone district is submitted. 
1. The phasing plan shall show how the project is to be incrementally developed.
 2. The phasing plan shall show the phasing of principal uses, transition tools, pedestrian improvements, streets, utilities, drainage improvements, building areas, parking, and interim uses.
 3. The phasing plan shall relate the development phases to infrastructure requirements for each phase.
 4. If a phased project proposes a disproportionate share of the mix of uses, open space, landscaping, recreational facilities or other common amenities to future phases, assurances are required so that if the future phases are not developed, a sufficient mix of uses, open space, landscaping, recreational facilities or common amenities shall be provided for the phases actually developed.
 - a. Assurances shall be in the form of a letter of credit, escrow or recorded agreement by the mortgage holder, or if none, by the property owner guaranteeing the development of common amenities.
 - b. Assurances shall be submitted before a phasing plan is approved.
 5. An amendment to a phasing plan shall be processed as an amendment to a MUZ Concept Plan.

C. Development Plan.

1. Before building permits may be issued in a MU zone, a development plan that implements the approved MUZ Concept Plan, if any, and this Zoning Code must be approved in compliance with Chapter 9.02 (Permits and Approvals).
2. Diversification of ownership shall not be considered a valid basis or justification for a variance or an amendment to a previously approved development plan. 
3. Compliance. All properties subject to an approved development plan shall be developed and maintained in accord with the plan. All new construction, alteration, enlargement or modification of existing structures and changes of land uses must conform to the approved development plan or as amended.

D. Relationship of plans to other regulations. The MUZ Concept Plan, Phasing Plan, and development plan are intended to be planning documents only. Approval of these plans does not grant any variances to this Zoning Code or the Subdivision Code and does not waive any design standards contained in the Moreno Valley subdivision policy manual and public works design manual, including the traffic engineering division policy and design standards manual. [STAFF: Do these exist?] 

9.074.050 – Review Criteria 

[STAFF: This is a reasonably comprehensive list of criteria for discussion purposes. Note that this list can also be converted to a scorecard or checklist format.]

The following review criteria shall apply to MUZ Concept Plans:

A. General.

1. Will the proposed development have a detrimental effect upon the general health, welfare and safety or convenience of persons residing or working in the neighborhood of the proposed development?
2. Does the proposed development reflect and implement the principles identified in the *Vision Plan for Alessandro Boulevard Corridor – Part 2 (Vision and Guiding Principles)*?
3. Will the proposed density, types of land uses, and range of square footages permit adequate light and air both on and off the site?
4. Are the permitted uses, bulk requirements and required landscaping appropriate to the type of development, the neighborhood, and the community?
5. Are the proposed ingress/egress points, traffic circulation, parking areas, loading and service areas and pedestrian areas designed to promote safety, convenience and ease of traffic flow and pedestrian movement both on and off the site?
6. Will the proposed development overburden the capacities of existing streets, utilities, parks, schools and other public facilities?
7. Does the proposed development promote the stabilization and preservation of the existing properties in adjacent areas and surrounding residential neighborhoods?

8. Does the concept plan show how any potentially detrimental use-to-use relationships (e.g., commercial use adjacent to single-family homes) will be mitigated? Does the development provide a gradual transition between uses of differing intensities?
9. Is the proposed concept plan in conformance with all requirements of this Zoning Code, the Subdivision Code, and with all applicable elements of the General Plan?

B. Mix of Uses.

1. Is the mix and location of principal uses consistent with the intent of the *Vision Plan for Alessandro Boulevard Corridor*?
2. Is the residential use well integrated with other uses, and do the proposed housing types and densities assure activity and support the mix of uses in the development?
3. Do open spaces serve as amenities and support transportation modes such as walking and bicycling?
4. Are build-to lines along perimeter streets located to support a pedestrian-oriented streetscape?

C. Access and Circulation Systems.

1. Do vehicular and pedestrian ways provide logical and convenient connections between proposed uses and to existing or proposed uses located adjacent to the proposed MU center, and do they establish a high level of connectivity?
2. Does the hierarchy of perimeter and internal streets disperse development generated vehicular traffic to a variety of access points, discourage through traffic in adjacent residential neighborhoods, and provide neighborhood access to on site uses?
3. Are existing or proposed transit routes incorporated into the MU center through the location of appropriate transit facilities, and related pedestrian improvements?

D. Parking. Are automobile and bicycle parking areas located to support principal uses, minimize potential negative impacts on adjacent properties, discourage an exclusive automobile orientation and provide a safe environment for pedestrians, motorists, cyclists and transit users?

E. General Utility Infrastructure.

1. Do the general utility layout, proposed rights of way, utility corridors and easements show appropriate points of connection for water, wastewater, natural gas, electric and telecommunication utilities?
2. Are the capacity, age and condition of utility infrastructure sufficient to meet the needs of the MU center at build out, and if not, have proper relocation, replacement or other modifications been shown?

F. On-Site Amenities and Landscaping.

1. Do the general location and type of on-site amenities provide desirable open space; create an inviting image; enhance the pedestrian environment; and offer spaces for people to gather, interact, and rest?

2. Do landscaping themes that relate to individual streetscapes, internal landscaping, parking lot landscaping and buffers contribute ecologically and aesthetically to the character of the MU center and support a pedestrian friendly environment?
3. Are areas of unique or significant natural features integrated into the MU center?

G. Signage and Lighting Systems.

1. Does the lighting system unify the development and is it compatible with and does it complement surrounding neighborhoods?
2. Are signage themes designed to unify the MU center?

H. Consideration of Context and Transitions to Adjacent Areas. Do the proposed transitions ease the progression from more intense to less intense land uses and building masses and mitigate visual impact, uses or activities that could be reasonably regarded as nuisances by neighbors?

I. Mixed Use Concept Plan Amendments. MUZ Concept Plan amendments request shall be submitted when there is a proposed change:

1. In the general location of an approved principal use, or
2. In the amount, type, or density of residential uses, or
3. In pedestrian or vehicular circulation systems, rights of way, utility corridors, or easements, or
4. In use that would change the location or amount of required parking, or
5. In uses that would change trip generation calculations, or
6. To an existing phasing plan.

J. Review Criteria for Development Plans. In addition to the review criteria for all development plans in Chapter 9.02 (Permits and Approvals), the following review criteria shall apply to development plans for MU zones:

1. Is the proposed development plan consistent with the General Plan?
2. Is the proposed development plan consistent with the intent and purposes of this Zoning Code?
3. Does the proposed development plan implement the MUZ Concept Plan, if any?
4. Does the proposed development plan implement the phasing plan, if any?
5. Does the proposed development plan demonstrate how the applicable MU zone purposes, requirements, and standards are met?
6. Does the proposed development plan demonstrate how the following site development standards and guidelines are met?

- a. Pedestrian and bicycle standards.
- b. Transit standards.
- c. Vehicle access and circulation standards.
- d. On-site community amenities standards.
- e. Transition and operational standards.
- f. Site development and design standards.

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Part Three – Draft Mixed-Use [Overlay] Zones

Sections:

- 9.075.000 – Introduction – Steps for Using the Mixed-Use Zone Regulations
- 9.075.000 – Introduction – Steps for Using the Mixed-Use Overlay Zone Regulations
- 9.075.010 – Purposes of Mixed-Use [Overlay] Zones
- 9.075.020 – Applicability [Mixed-Use Zone Approach]
- 9.075.020 – Applicability [Mixed-Use Overlay Zone Approach]
- 9.075.030 – Mixed-Use [Overlay] Zone Land Uses and Permit Requirements
- 9.075.040 – Standards and Guidelines Applicable to All Mixed-Use [Overlay] Zones
- 9.075.050 – Development Standards – Medical Center Mixed-Use (MDMU) [Overlay] Zone
- 9.075.060 – Frontage Standards
- 9.075.070 – Driveway Standards
- 9.075.080 – Incentives

Table 9-1 – Mixed-Use [Overlay] Zone Descriptions

Table 9-2 – Allowable Land Uses and Permit Requirements for Mixed-Use [Overlay] Zones

Table 9-3 – Excerpt from *Vision Plan Table 7 – Moderate Changes* and Excerpt from *Alessandro Boulevard T.O.D Corridor Study - Existing Conditions Report – Executive Summary* (pg. 9)

Table 9-4 – Development Standards for MUD1, MUD2, and Corridor Nodes (From Tables 9.07.090 & 9.07.100 of *Zoning Code*, and Table 10 of *Vision Plan*)

[STAFF: This draft chapter provides the framework for implementing one or more mixed-use zones or mixed-use overlay zones. We have provided purpose statements for five different activity nodes and one sample section with regulations and standards for mixed-use development in the area of the Medical Center at the eastern end of Alessandro Boulevard. Other sections will be added for each of the other zones that you choose to implement. Please note that existing development standards in your zoning code and proposed development standards from the Vision Plan are consolidated in the tables for purposes of comparison and discussion at this stage of the drafting process.]

9.075.000 – Introduction – Steps for Using the Mixed-Use Zone Regulations

A. Determine mixed-use zone.

1. **Identify mixed-use zone on Zoning Map.** The Zoning Map identifies each mixed-use zone by a unique hatch pattern.
2. **Determine purpose of mixed-use zone.** Each mixed-use zone has a distinct character and purpose as described in Section 9.075.010 (Purposes of Mixed-Use Zones).
3. **Determine allowable land uses.** Allowable land uses and permit requirements are specified in Section 9.075.030 (Allowable Land Uses and Permit Requirements in Mixed-Use Zones).
4. **Review standards for the applicable mixed-use zone.** Development standards for each mixed-use zone are contained in separate sections (9.075.xxx – 9.075.xxx). They include:
 - Lot Standards: Standards related to lot width and depth
 - Building Placement Standards: Standards related to the placement of buildings on the lot, including minimum and maximum setbacks and allowed projections.
 - Building Form Standards: Standards related to the width, height, and mass of buildings.
 - Required Frontages along Streets: Standards that identify the types of frontages that are allowed along the front lot line (elevation of ground floors, storefront entrances, residential stoops, awnings, etc.). The types of frontages allowed are related to the adjacent street.
 - Parking Placement: Standards that determine the allowed locations of various parking facilities.
5. **Review other applicable standards.** Additional standards that may apply to projects include:
 - Frontage Standards
 - Driveway Standards

- ### C. Design Guidelines and Mobility Plan.
- Consult the Alessandro Boulevard Street and Streetscape Design Guidelines, Mixed-Use Development Design Guidelines, and Mobility Plan for information and illustrations on how best to comply with the purposes and standards found in this Chapter.

9.075.000 – Introduction – Steps for Using the Mixed-Use Overlay Zone Regulations

Process for determining whether to develop under the base zone standards or the mixed-use overlay zone standards as allowed by Chapter 9.075 (Mixed-Use Overlay Zones) in the Zoning Code.

- A. Determine base zone.** The Zoning Map identifies the base zone in which a lot is located. After determining the applicable base zone, see Article 2 (Zone-Specific Standards) to identify the allowable land uses and applicable development standards.
- B. Determine mixed-use overlay zone.**
1. **Identify mixed-use overlay zone on Zoning Map.** The Zoning Map identifies each mixed-use overlay zone by a unique overlay hatch pattern.
 2. **Determine purpose of mixed-use overlay zone.** Each mixed-use overlay zone has a distinct character and purpose as described in Section 9.075.010 (Purposes of Mixed-Use Overlay Zones).
 3. **Determine allowable land uses.** Allowable land uses and permit requirements are specified in Section 9.075.030 (Allowable Land Uses and Permit Requirements in Mixed-Use Overlay Zones).
 4. **Review standards for the applicable mixed-use overlay zone.** Development standards for each mixed-use overlay zone are contained in separate sections (9.075.xxx – 9.075xxx). They include:
 - Lot Standards: Standards related to lot width and depth
 - Building Placement Standards: Standards related to the placement of buildings on the lot, including minimum and maximum setbacks and allowed projections.
 - Building Form Standards: Standards related to the width, height, and mass of buildings.
 - Required Frontages along Streets: Standards that identify the types of frontages that are allowed along the front lot line (elevation of ground floors, storefront entrances, residential stoops, awnings, etc.). The types of frontages allowed are related to the adjacent street.
 - Parking Placement: Standards that determine the allowed locations of various parking facilities.
 5. **Review other applicable standards.** Additional standards that may apply to projects include:
 - Frontage Standards
 - Driveway Standards
- C. Choose applicable base zone or mixed-use overlay zone standards.** After reviewing the applicable uses and standards, the property owner or developer chooses to develop in compliance with the base zone standards in Chapters 9.03, 9.04, 9.05, or 9.06 or with the mixed-use standards in Chapter 9.075 (Mixed-Use Overlay Zones).
- D. Design Guidelines and Mobility Plan.** Consult the Alessandro Boulevard Street and Streetscape Design Guidelines, Mixed-Use Development Design Guidelines, and Mobility Plan for information and illustrations on how best to comply with the purposes and standards found in this Chapter.

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9.075.010 – Purposes of Mixed-Use [Overlay] Zones

A. General purposes. The general purposes of the mixed-use [overlay] zones are to:



1. Stimulate economic development and reinvestment along Alessandro Boulevard through regulations based upon recognized urban design principles that allow property owners flexibility in land use to respond to market forces;
2. Create specific development nodes with a pedestrian-oriented mix of uses with convenient access between area neighborhoods, housing, employment centers, and retail services;
3. Accommodate intensities and patterns of development that can support multiple modes of transportation including public transit, bicycles, and walking;
4. Facilitate well-designed new mixed-use development projects that combine residential and nonresidential uses (e.g., office, retail, business services, personal services, public spaces and uses, other community amenities, etc.) to promote a better balance of jobs and housing;
5. Ensure compatibility with adjacent existing single-family neighborhoods and harmonious integration with existing commercial areas; and
6. Create an integrated, walkable pedestrian environment that reduces dependence on the automobile for everyday needs, through a streetscape that is connected, attractive, safe, and engaging.

[STAFF: If you were to adopt form-based regulations, this would be the appropriate place to include the following:

- B. Adoption of Regulating Plan. The Alessandro Boulevard Corridor Regulating Plan (Appendix A) is hereby adopted as the official zoning map for the Alessandro Boulevard Corridor District. Within any area subject to the approved Regulating Plan, this ABCD Code becomes the exclusive and mandatory regulation.
- C. Establishment of Character Zones. The following Character Zones are established. The designation of the specific Character Zone shall be established in the Regulating Plan.

B. Purposes of specific zones. Table 9-1 (Mixed-Use [Overlay] Zone Descriptions) provides descriptions and representative images of the character of the individual mixed-use [overlay] zones.

Table 9-1: Mixed-Use [Overlay] Zone Descriptions 

Gateway Mixed-Use (GWMU) [Overlay] Zone 



Sample photos only

The GWMU [Overlay] Zone applies to the western end of Alessandro Boulevard where it intersects with Day Street. The intent is to provide a transition area between the high-speed and high traffic-generating I-215 access ramps and the future Metrolink Station to the west and the more pedestrian-oriented retail, office, and residential areas to the east along Alessandro Boulevard. A “gateway” effect will be created at the intersection by promoting building frontages near or at the sidewalk and walkable blocks. Vertical and horizontal mixed-use development up to two stories in height is allowed everywhere except in the southwest area of the zone, which is subject to height and use limitations imposed by the AICUZ (Air Installation Compatibility Use Overlay District) as a result of the March Air Force Base flight patterns. Appropriate development types outside the potential aircraft accident zones may include offices, light industrial, supportive commercial, day care, public transit uses and other uses that support businesses in the surrounding major employment centers. See Figure 9-1 (Example Development in GWMU [Overlay] Zone).

Civic Center Mixed-Use (CCMU) [Overlay] Zone



Sample photos only

The CCMU [Overlay] Zone applies to the general area of Alessandro Boulevard where it intersects with Frederick Street. The intent is to build upon the role of the Civic Center as an important community focus by providing opportunities for commercial and office development that serves the needs of visitors, local employees, and residents. A “main street” effect will be created by promoting pedestrian-oriented blocks with building frontages near or at the sidewalk, wide sidewalks, and parking behind buildings. Vertical and horizontal mixed-use and residential development is allowed up to five stories in height. Commercial or live-work uses are required on the ground floor of buildings facing Alessandro Boulevard. Commercial and/or residential uses are allowed in other locations. See Figure 9-2 (Example Development in CCMU [Overlay] Zone).

Table 9-1: Mixed-Use [Overlay] Zone Descriptions

Community Crossroads Mixed-Use (CRMU) [Overlay] Zone



Sample photos only

The CRMU [Overlay] Zone applies to the general area of Alessandro Boulevard where it intersects with Perris Boulevard. The intent is to generate a community-serving node that is considered an amenity for nearby and adjacent neighborhoods as well as for motorists along Alessandro. Pedestrian-oriented blocks with building frontages near or at the sidewalk, wide sidewalks, and parking behind buildings is encouraged. Vertical mixed-use development (commercial on ground floor with offices or housing above) is allowed up to four stories in height within 300 feet of the intersection of Alessandro Boulevard and Perris Boulevard. Freestanding residential only development and mixed-use development (commercial/office/housing with no requirement for ground-floor commercial) are allowed in other locations. See Figure 9-3 (Example Development in CRMU [Overlay] Zone).

Medical Center Mixed-Use 2 (MDMU) [Overlay] Zone



Sample photos only

The MDMU [Overlay] Zone applies to the general area of Alessandro Boulevard where it intersects with Nason Boulevard. The intent is to provide areas for medical offices and support services, visitor-serving retail and commercial services, and high density housing that support the needs of employees, visitors, and patients at the adjacent Riverside County Regional Medical Center and the nearby Moreno Valley Community Hospital. Vertical mixed-use development (commercial on ground floor with offices or housing above) is allowed up to five stories in height within 600 feet of the intersection of Alessandro Boulevard and Perris Boulevard. Freestanding residential only development and mixed-use development (commercial/office/housing with no requirement for ground-floor commercial) are allowed in other locations. See Figure 9-4 (Example Development in MDMU [Overlay] Zone).

Table 9-1: Mixed-Use [Overlay] Zone Descriptions

Neighborhood Crossing Mixed-Use (NCMU) [Overlay] Zone



Sample photos only

The NCMU [Overlay] Zone applies to the area east of the Civic Center where Alessandro Boulevard intersects with [Heacock, Laselle] Street(s). The intent is to provide an area for low-rise mixed-use development that serves neighborhood and community-level needs. Vertical mixed-use development (commercial on ground floor with offices/housing above) is allowed up to three stories in height within 300 feet of the intersection of Alessandro Boulevard and [Heacock, Laselle] Street(s). Freestanding residential and live-work uses up to two stories in height are allowed in other locations. See Figure 9-5 (Example Development in NCMU [Overlay] Zone).

9.075.020 – Applicability [Mixed-Use Zone Approach]

In addition to the requirements in this Chapter, projects on property in any mixed-use zone, when located along Alessandro Boulevard and developed in compliance with the mixed-use standards in this Chapter, shall be subject to the guidelines in the *Alessandro Boulevard Streetscape Design Guidelines* and the *Mixed-Use Development Design Guidelines*. If there is a conflict between the standards in this Chapter and the guidelines in the *Alessandro Boulevard Streetscape Design Guidelines* and the *Mixed-Use Development Design Guidelines*, the standards of this Chapter shall apply.

9.075.020 – Applicability [Mixed-Use Overlay Zone Approach]

A. Base zone standards.

1. The provisions in this Chapter shall apply to all properties within their respective mixed-use overlay zones, but the provisions do not supersede the underlying base zone provisions until a property is developed in compliance with the provisions of this Chapter. Once a property is developed in compliance with the provisions of this Chapter, the provisions of this Chapter completely supersede the provisions of the underlying base zone.
2. Regulations, development standards, and requirements in the underlying base zones shall continue to apply to those projects that are currently developed according to the existing standards.
3. For those properties that are currently developed as legal non-conforming uses (i.e., that do not comply with the provisions of the base zone or the provisions of this Chapter), the regulations, development standards, and requirements in Section 9.02.180 (Legal Nonconforming Uses, Improvements, and Parcels) shall apply.
4. New projects may also be developed in compliance with the existing underlying base zone, provided that all standards and requirements of the underlying base zone are met.

B. Option to apply mixed-use standards.

1. The owner or developer of any property within any mixed-use overlay zone may choose to develop in compliance with the standards and procedures in this Chapter that apply to the particular mixed-use overlay zone in which the property is located.
2. In order to exercise the option to develop under the provisions in this Chapter, approval of a Minor or Major Development Review Process shall be required in compliance with Section 9.02.030 (Development Review Process). In granting the approval, the review authority shall find that the proposed development is in compliance with the provisions of this Chapter. [STAFF: We may want to use a different set of thresholds for triggering the development review process in the mixed-use zones. Please advise your thoughts on this.] 
3. In order to facilitate project and site design consistent with this Chapter, any development proposed through the optional application of any of the mixed-use overlay zones shall consist of newly constructed buildings. No uses shall be located in rehabilitated or reused buildings. 

- C. **Relationship to Design Guidelines.** Projects on property in any mixed-use overlay zone, when located along Alessandro Boulevard and developed in compliance with the mixed-use standards in this Chapter, shall be subject to the guidelines in the *Alessandro Boulevard Streetscape Design Guidelines* [and the *Mixed-Use Development Design Guidelines*]. If there is a conflict between the standards in this Chapter and the guidelines in the *Alessandro Boulevard Streetscape Design Guidelines* [and the *Mixed-Use Development Design Guidelines*], the standards of this Chapter shall apply. [STAFF: See Part 5 of this document.]

9.075.030 – Mixed-Use [Overlay] Zone Land Uses and Permit Requirements

A. Allowed land uses. 

1. Table 9-2 indicates the uses allowed within each mixed-use [overlay] zone and the planning permit required for establishing each use in compliance with Chapter 9.02 (Permits and Approvals).
2. Residential, retail, commercial, and office uses that are combined in vertical or horizontal mixed-use projects represent the principal allowed uses, and only those additional uses that are complementary to, and can exist in harmony with, the character of each zone may be allowed as accessory, conditionally permitted, and/or temporary uses.
3. [STAFF: May need to refer to Section 9.02.070 (Plot Plan)?] 
4. [STAFF: May need to refer to Section 9.02.030 (Development Review Process) – Minor and Major Development Review?] 

STAFF: For the time being, we are including the list of allowed uses from your current code here. This will be changed once you give us the go-ahead on the proposed mixed-use districts.

Table 9-2 Allowable Land Uses and Permit Requirements

	MUD1	MUD2
Adult Businesses		
Agricultural Uses—Crops Only	X	X
Agricultural (involving structures)		
Aircraft Landing Facilities		
Ambulance Service		
Amusement Parks, Fairgrounds		
Animal Raising (see Section 9.09.090 of this title)	X	X
Appliance Repair Shops		X
Arcades, Video Machines		♦
Athletic Clubs and Spas	X	X
Auction Houses		
Auditoriums	♦	♦
Auto Electronic Accessories and Installation		
Automobile Fleet Storage		
Automobile, Motorcycle, Truck, Golf Cart, Recreational Vehicle and Boat Sales and Incidental Minor Repairs and Accessory Installations		
Auto Service Stations Accessory uses include convenience store and car wash Minor repairs to include auto/boat/motorcycle/RV (excludes major repair, paint, body work)		
Automotive, Boat, Motorcycle and RV Repair—Minor (includes brake, muffler and tire installation and repair)		
Automotive Paint and Body Repair—Major Engine Overhaul		
Auto Rentals		
Auto Supply Stores		X
Bakery Shops		X
Bakery—Commercial		
Banks—Financial Institutions	X	X
Barber and Beauty Colleges		X
Boat Sales New and Used Including Repairs and Accessory Installation		
Boarding and Rooming Houses	X	X

Table 9-2 Allowable Land Uses and Permit Requirements

	MUD1	MUD2
Bowling Alley		X
Building Material Sales With outdoor storage		
Building Material Storage Yards		
Bus, Rail and Taxi Stations		
Business Equipment Sales (includes repairs)	X	X
Business Schools	X	X
Business Supply Stores	X	X
Cabinet Shop		
Caretakers Residence ¹	◆	◆
Car Wash Accessory to auto related use		
Catering Service		
Cemetery (Human or Pet) With or Without Accessory Mortuary and Cremation Services (Minimum 10-acre site required)		
Churches ²	◆	◆
Clubs	◆	◆
Commercial Radio or Television Stations With on-site antenna Without on-site antenna		
Communications Facilities	i 9.09.040 of this t	
Computer Sales With service and repairs Service and repair only	X	X X
Contractors Storage Yard		
Convalescent Homes/Assisted Living	◆	◆
Convenience Stores With or without drive-through With alcohol sales		X ◆
Convention Hall, Trade Show, Exhibit Building with Incidental Food Services		

Table 9-2 Allowable Land Uses and Permit Requirements

	MUD1	MUD2
Copy Shops	X	X
Country Club		
Dancing, Art, Music and Similar Schools	X	X
Day Care Centers	◆	◆
Delicatessens	X	X
Diaper Supply Service		
Laundry with fleet storage		
Disposal company		
Drapery Shops		X
Dressmaking Shops		X
Driving School	X	X
Drug Stores		X
Dry Cleaning or Laundry		
a. Dry Cleaning	X	X
b. Laundromat	X	X
c. Laundry Commercial		
Electronic and TV Repair Shop	X	X
Equestrian Centers, Riding Academies, Commercial Stables (including incidental sales of feed and tack)		
Exterminators		
Feed and Grain Stores		
Fire and Police Stations	X	X
Floor Covering Stores (may include incidental repairs with installation service)		X
Fraternity/Sorority		
Frozen Food Locker		
Gasoline Dispensing		
Nonretail accessory to an auto-related use		
Glass Shops and Glass Studios—Stained, etc.		X

Table 9-2 Allowable Land Uses and Permit Requirements

	MUD1	MUD2
Golf Courses or Golf Driving Ranges with Incidental Commercial Uses		
Gymnasiums		X
Handicapped Housing	C	C
Health Club, Spa		X
Heavy Equipment Sales and Rentals		
Homeless Shelters		
Hospitals		
Hotels		
a. With 20% or less of the units containing kitchens	C	X
b. With over 20% of the units containing kitchens	C	C
Ice Cream Stores—Including Yogurt Sales	X	X
Impound Yards		
Jewelry Stores		X
Kennel and Catteries	C	C
Laboratories (medical and dental)	X	X
Libraries	X	X
Liquor Stores		◆
Live/Work Unit	X	X
Locksmith Shops		X
Lodge Halls and Similar Facilities	◆	◆
Lumberyards		
Mail Order House		
Manufacturing and Assembly		
a. Custom and light manufacturing indoor uses only (50,000 square feet or less), with light truck traffic, on-site and wholesaling of goods produced		
b. Custom and light manufacturing indoor uses only (more than 50,000 square feet), with light truck traffic, on-site and wholesaling of goods produced		
c. General manufacturing with frequent truck traffic and/or outdoor equipment or storage		
d. Retail sales of goods produced or warehoused on-site ³		

Table 9-2 Allowable Land Uses and Permit Requirements

	MUD1	MUD2
Medical Clinics/Medical Care		
Inpatient care	X	X
Urgent care	X	X
Mobile Home Parks		
Mobile Home Sales or Rentals (outdoor display)		
Mortuaries		
With cremation services		
No cremation services		◆
Museums	X	X
Newspaper and Printing Shops		X
Nursery, (Plant), Wholesale and Distribution		
Offices (administrative and professional)	X	X
Open Air Theaters		
Orphanages		
Painting Contractor		
Parcel Delivery Terminals		
Parking Lot	C	C
Parks and Recreation Facilities (public)	X	X
Personal Services (e.g., nail salons, massage establishment, barber and beauty shops, and tattoo parlors)	X	X
Pharmacy ⁴	X	X
Photo Studios	X	X
Plumbing Shops		
Plumbing Supply Stores for Contractors		
Pool Hall		◆
Postal Services	X	X
Pottery Sales with Outdoor Sales		X
Public Administration, Buildings and Civic Centers	X	X
Public Utility Stations, Yards, Wells and Similar Facilities, Excluding Offices	◆	◆
Racetracks		
Record Store		X
Recording Studio	X	X
Recreational Facilities (Private) such as Tennis Club, Polo Club, with Limited Associated Incidental Uses		◆
Recycling, Large Collection Facility ⁵		

Table 9-2 Allowable Land Uses and Permit Requirements

	MUD1	MUD2
Recycling, Small Collection Facility	X	X
Recycling Processing Centers		
Refreshment Stands	X	X
Rental Service		
Within an enclosed structure (furniture, office, party supplies)		X
With outdoor storage and display (vehicles, equipment, etc.)		
Research and Development	X	
Residential		
Single-family		
Multifamily	X	X
Manufactured home park (see mobile home parks)		
Residential Care Facility (for seven or more persons)		
Restaurants (Eating and Drinking Establishments)		
With entertainment		
Without entertainment	X	X
With alcoholic beverage sales	X	X
With outdoor seating	X	X
Restaurants (fast-food)		
With drive-through		
Without drive-through		X
Retail Sales		X
Support Retail Sales	X	
Sandwich Shops ⁶	X	X
Schools, Private	◆	◆
Senior Housing	X	X
Shoe Shine Stands	X	X

Table 9-2 Allowable Land Uses and Permit Requirements

	MUD1	MUD2
Shoe Repair Shop		X
Sign Shop		X
Skating Rinks		
Stationery Stores	X	X
Statue Shop		
Outdoor display		
Storage Lots and Mini-Warehouses		
Indoor		
Outdoor		
Swim Schools/Center with Incidental Commercial Uses		
Taxidermist		
Theaters (excludes open air)		X
Tire Recapping		
Trade and Vocational Schools	X	X
Transfer, Moving and Storage Facilities		
Truck Wash		
Upholstery Shops		
Vehicle Storage Yards		
Indoor		
Outdoor		
Vending Machine Service and Repair		
Veterinarian (including animal hospital)		
All activities within an enclosed structure		

Table 9-2 Allowable Land Uses and Permit Requirements Mixed-Use [Overlay] Zones	X=Permitted C=Conditional Use Permit (9.02.060) M=Minor Development Review (9.02.030)			T=Temporary Use Permit (9.02.150) --=Prohibited 		
Land Use See Chapter 9.15 (Definitions) See Section 9.01.060 (Clarification of Ambiguities) for unlisted uses and exempt uses.	GWMU	CCMU	CRMU-1	CRMU-2	NCMU	Specific Use Regulations
Education, Recreation, and Assembly Uses						
Industry, Manufacturing, and Warehousing Uses						
Residential Uses						
Care Uses						
Retail Trade Uses						
Service Uses – Business and Professional						
Service Uses - General						
Public and Semi-Public Uses						
Transportation, Communication, and Infrastructure Uses						
Vehicle Rentals, Sales, and Services						
Other Uses						

9.075.040 – Standards and Guidelines Applicable to All Mixed-Use [Overlay] Zones

A. Applicable development standards. Mixed-use projects shall comply with the general development standards in this Section, Table 9-3, Table 9-4, and the zone-specific standards in Section 9.075.050 (Development Standards - MDMU Overlay Zone), etc.

B. Integration of uses.

1. **Integration defined.** Potential ways to integrate the uses allowed in the overlay zones include:
 - a. **Vertical integration.** A mix of nonresidential uses (i.e., commercial, retail, and/or office) located on the ground floor with residential dwelling units located above.
 - b. **Horizontal integration.** A mix of nonresidential uses located on the primary street frontage of a parcel and residential uses located at the rear of a parcel.
 - c. **Combined approach.** A combination of vertical and horizontal integration of nonresidential and residential uses.

C. Operational standards.

1. **Hours of operation.** Outdoor nonresidential uses in mixed-use projects shall be prohibited from operating between the hours of 10:00 p.m. and 7:00 a.m. These hours may be modified through approval of a Conditional Use Permit in compliance with Section 9.02.060 (Conditional Use Permits). 
2. **Joint tenants and owners association.** 
 - a. A joint tenants and owners association shall be formed to ensure the well-being of each tenant and owner in a mixed-use project.
 - b. The association bylaws, including voting rights, shall be subject to review by the City Attorney and approval by the Director. The association's bylaws shall include the following:
 - (1) Assignment of parking spaces per each use.
 - (2) Identification of maintenance responsibilities for landscaping, parking facilities, and recycling and refuse storage facilities.
 - (3) Noise notification procedures.
 - (4) Relationship between uses regarding association representation.
 - (5) Voting procedures.
 - (6) Procedures for solving problems that may arise between the different types of uses or residents.

3. **Loading and unloading activities.** Where applicable, the covenants, conditions, and restrictions of a mixed-use project shall indicate the times when the loading and unloading of goods may occur on the street, provided that in no event shall loading or unloading take place after 10:00 p.m. or before 7:00 a.m. on any day of the week.
4. **Noise notification.**
 - a. Residents, whether owners or tenants, of a mixed-use development project shall be notified in writing before taking up residence that they will be living in an urban type of environment and that the noise levels may be higher than a typical residential area.
 - b. The covenants, conditions, and restrictions of a mixed-use project shall require that the residents acknowledge their receipt of the written noise notification. Their signatures shall confirm receipt and understanding of this information.
5. **Nuisance mitigation.** The location and design of recycling and refuse storage facilities shall mitigate nuisances from odors when residential uses might be impacted.
6. **Sound mitigation.** Residential dwelling units shall be designed to be sound attenuated against present and future project noise. New projects or new nonresidential uses in existing projects shall provide an acoustical analysis report, by an acoustical engineer, describing the acoustical design features of the structure required to satisfy the exterior and interior noise standards.

D. Site Planning and Design Guidelines.

1. **Mixed Use Development Design Guidelines.** The Planning Department is authorized to adopt a mixed-use development design guidelines manual containing guidelines and illustrations that provide information on how best to comply with, and design mixed-use developments according to, the purposes and standards found in this Chapter, including guidelines for block structure and street networks; pedestrian circulation, access, and connections; and utility placement.
2. **Site Organization Guidelines.**
 - a. Separate site access drives and parking facilities should be provided for the residential and nonresidential uses.
 - b. Site access drives should incorporate distinctive architectural elements, landscape features, and signs to differentiate access points to nonresidential parking areas from access points to residential parking areas.
 - c. Loading areas and trash enclosure facilities for the nonresidential use should be located as far away as possible from residential units and should be completely screened from view from adjacent residential portions of the project or another adjacent residential uses. The location and design of trash enclosures should mitigate nuisances from odors when residential uses might be impacted.
 - d. If enclosed parking is provided for the entire mixed use development, separate areas/levels should be provided for residential and nonresidential uses with separate building entrances.

- e. Residential buildings should be arranged to create opportunities for common open space for the residential use. Common open space areas should be completely separated from other uses on the site and should provide a semi-private gathering place for residents.
- f. Common open space areas above the ground level should be landscaped using containerized plant materials that are provided with an automatic irrigation system and provisions for adequate drainage.

3. Building Design Guidelines.

- a. The architectural style and use of materials should be consistent throughout the entire mixed-use project. However, differences in materials and/or architectural details may occur to differentiate the residential portion of the project from the nonresidential portion of the project.
- b. Projects with three stories or less in height are strongly encouraged to incorporate full, pitched roofs. Upper portions of buildings shall be stepped back in compliance with Table 9-4 (Development Standards for Mixed-Use [Overlay] Zones).
- d. When residential and nonresidential uses are provided in the same structure, separate pedestrian entrances should be provided for each use.
- e. Roof-mounted equipment should be completely screened from public views. Special consideration should be given to the location and screening of noise generating equipment (e.g., refrigeration units, air conditioning, exhaust fans, etc.).





Table 9-3 - Excerpt from Vision Plan Table 7 – Moderate Changes

Component	Changes	Benefits	Implications
Activity Node			
Building Location	new buildings near and at the sidewalk	physically defined streetscape	use exstg M.U. 2 zone at nodes and M.U. 1 zone on rest
Building Frontage	at least 2/3 of façade at sidewalk	encourages active frontage	adjust standards
Building Height	varied massing; allow limited 4th story in certain locations	more defined streetscape; better project feasibility	adjust standards
Density	increased to 40 within 300 feet of community level nodes	more customers within walking distance	adjust standards
Land Uses	retail and restaurants focused at nodes	concentrated activity; encourages walking	use exstg M.U. 2 zone
Streetscape			
Median	add planted medians	reduces visual width	selection of roadway section
Transit	dedicated bus lane	controls circulation efficiency	cost, maintenance, parking, street width
Through-Lanes	change to 2 lanes	LOS B; more compatible with commercial activity	selection of roadway section; cost, maintenance
Bicycles	class 2 bike lane	encourage bicycle activity	restripe from exstg
On-Street Parking	parallel at activity nodes	convenience	street restriping
Street Trees	infill missing trees	supports node	Maintenance
Open Space	widen median for jogging path	continuous route across community	manage pedestrian crossings, provide enough width in median
Pedestrian Activity			
Sidewalks	Widened to 12 ft min at nodes	Encourages pedestrian activity for health and business	Cost, maintenance
	OR Widened to 18 ft min at nodes	ALSO allows for sidewalk dining	Sidewalk dining on right-of-way
Crossings Destinations	Curb extensions Key uses at nodes	Pedestrian safety, less cross time, activate nodes	More pedestrian activity Builds importance of node; provides destination for pedestrians to visit
Vehicular Circulation			
Through movement	Reconfigured at nodes	Activity nodes are featured giving business more visibility	Select roadway section and design the transitions
Speed limit	Changes to 35 mph	Causes locals and pedestrian-oriented businesses to reconsider the corridor as an inviting place	Reclassify from principal arterial 1; educational campaign to discuss the need for changes and their benefits
Level of Service	B	Smooth traffic flow, improved physical and business environment	Educational campaign to discuss the need for changes and their benefits
Environmental Performance			
GHG Reduction			
Fiscal Performance			
Leakage Reduction			

Table 9-3 (continued) Excerpt from Alessandro Boulevard T.O.D Corridor Study Existing Conditions Report – Executive Summary (pg. 9)

ZONING CONTEXT

Design Guidelines (chapter 9.16.150)

Generally, the guidelines are clear and effective toward generating and maintaining a positive physical environment in Moreno Valley. There are a few, key provisions that bear discussion given the transformative outlook being talked about for the Alessandro corridor.

B 4. The development of new, small convenience centers on sites less than eight (8) acres is discouraged.

Possible scenarios for the corridor most likely do not include more suburban shopping center development but will probably include corridor development that may consist of limited retail, convenience or service businesses on the ground floor with housing or office above. Such projects as much of new development, may not always be on sites exceeding 8 acres in size yet their incremental contribution to shaping the corridor can still be very positive. This provision is identified to understand if it only applies to stand-alone convenience centers or to that land use within a building on any site.



B 10. Continuous building mass should be divided into smaller units, providing both variety and scale.

This is very positive for the corridor as the tendency can quickly lean toward larger buildings for a variety of well intended reasons. However, this provision should be supported by requirements for maximum building length to avoid overpowering the corridor with buildings that appear much more intense than they are simply because they are too long. In our experience, many of the great places in the world tend to have several buildings comprising a block. Those blocks tend to be under 600 feet in length with many of the ‘walkable’ environments that people identify as positive having blocks under 400 feet in length. Connecting block length to building length is key to generating a positive physical environment that is acceptable to the community.



Table 9.04.040-7 Commercial Site Development Minimum Standards

The only requirements that stand out as problematic for development along a transit corridor are the front and side setbacks, and parking.

Front and Side Setbacks - This issue is particularly important at nodes where it is expected to be pedestrian-oriented, mixed use and active with sidewalk activity. The current front and side setbacks are 20 feet which are required to be landscaped. This suggests that the intention is for a suburban shopping center or business park type of environment with large green setbacks. These requirements are fine for such development but along the corridor, it may be that some areas are appropriate for deep setbacks to provide ground floor residential development with appropriate separation from the corridor. However, closer to nodes and especially at nodes such separation from the sidewalk is not conducive to pedestrian-oriented sidewalk activity. Through this process, these standards will need to be further evaluated per the eventual vision for the corridor.



Table 9.11.040A-12 Off-Street Parking Requirements

Parking - The minimum required parking is 4.4 per 1,000 square feet of general retail. As stated earlier, these standards reflect suburban shopping center type of development patterns and their needs but do not align with the more dynamic needs of mixed-use development that will likely occur along a transit corridor, particularly at nodes. Examples of revitalized areas, particularly nodes along corridors show that strategically dispersed and shared parking lots enable individual parcels to generate more activity while not dominating the place with parking fields. These standards will need to be further evaluated per the eventual plan for the corridor.



Table 9.11.070 Adjustments to offset Parking Requirements

*** Reference Potential Use in Corridor*** (pending)

Table 9-4 - Development Standards for MUD1, MUD2, and Corridor Nodes
 (From Tables 9.07.090 & 9.07.100 of Development Code, and Table 10 of Vision Plan)

Development Feature	MUD1 (A) Office Primary	MUD2 (B) Commercial Primary	Gateway	Civic Center	Community	Neighborhood	Medical Center	Corridor General 1	Corridor General 2	Corridor Adjacent
	Existing	Existing	Vision Plan	Vision Plan	Vision Plan	Vision Plan	Vision Plan	Vision Plan	Vision Plan	Vision Plan
Spacing and Service Area (min/max)	*	*	½ mile 2 miles	Serves entire City	½ mile 2 miles	¼ mile ½ mile	5 miles No max	With Regional, Civic Center, Gateway, Community	With Gateway, Community, Neighborhood	TBD
Block Size (Walkability)										
Perimeter (min/max)	*	*	800/600	800/500	800/400	800/400	800/500	1,200/2,200	800/2,200	TBD
Length (max)	*	*	2,000	2,200	1,600	1,200	2,200	600	500	TBD
Density (max) 9.08.060	15 d/u per acre	30 d/u per acre	20 d/u per acre	*	30 d/u per acre	15 d/u per acre	40 d/u per acre	20-30 d/u per acre	20-30 d/u per acre	TBD
Lot Dimensions (min)										
Area	1 acre	1 acre	*	*	*	*	*	*	*	TBD
Width	100 ft	100 ft	*	*	*	*	*	*	*	TBD
Depth	100 ft	100 ft	*	*	*	*	*	*	*	TBD
% of façade at setback line (min)										
Major intersection	*	*	50%	75%	75%	75%	75%	75%	75%	TBD
N/S street within 300 ft of major int.	*	*	50%	75%	75%	75%	75%	50%	50%	TBD
Corridor: change expected	*	*	20%	50%	20%	50%	20%	20%	20%	TBD
Corridor: little/no change expected	*	*	Existing stbcks	Existing stbcks	Existing stbcks	Existing stbcks	Existing stbcks	Existing stbcks	Existing stbcks	TBD

Table 9-4 - Development Standards for MUD1, MUD2, and Corridor Nodes
(From Tables 9.07.090 & 9.07.100 of Development Code, and Table 10 of Vision Plan)

Development Feature	MUD1 (A) Office Primary	MUD2 (B) Commercial Primary	Gateway	Civic Center	Community	Neighborhood	Medical Center	Corridor General 1	Corridor General 2	Corridor Adjacent
	Existing	Existing	Vision Plan	Vision Plan	Vision Plan	Vision Plan	Vision Plan	Vision Plan	Vision Plan	Vision Plan
Setbacks – Building Placement (min)										
Front (1)	20 ft (2)	Min. 0 ft with an average of 10 ft required	0 ft	0 ft	0 ft	0 ft	0 ft	5 ft	10 ft	TBD
Street side (1)	20 ft (2)	Min. 0 ft with an average of 10 ft required	0 ft	0 ft	0 ft	0 ft	0 ft	0 ft	10 ft	TBD
Interior Side (3)	10 ft	0 ft or 5 ft Is this supposed to be minimum 0 ft and maximum 5 ft? This needs to be clarified	10 ft	15 ft	10 ft	0 ft	15 ft	10 ft	10 ft	TBD
Rear (3) 	20 ft	10 ft (See special req's)	25 ft	10 ft	25 ft	25 ft	10 ft	10 ft	20 ft	TBD
Floor Area Ratio (max) (4)	1.00	1.00	*	*	*	*	*	*	*	TBD

Table 9-4 - Development Standards for MUD1, MUD2, and Corridor Nodes
 (From Tables 9.07.090 & 9.07.100 of Development Code, and Table 10 of Vision Plan)

Development Feature	MUD1 (A) Office Primary	MUD2 (B) Commercial Primary	Gateway	Civic Center	Community	Neighborhood	Medical Center	Corridor General 1	Corridor General 2	Corridor Adjacent
	Existing	Existing	Vision Plan	Vision Plan	Vision Plan	Vision Plan	Vision Plan	Vision Plan	Vision Plan	Vision Plan
Height Limit or Mass Limit (max % of story based on ground floor)										
9.08.030.B.5.b. Projections Above Height Limits	50 ft	50 ft	Inside AICUZ – Per Federal Aviation Regulation (FAR) Part 77	*	*	*	*	*	*	TBD
2 nd story	*	*	100% Outside AICUZ	100%	100%	80%	100%	100%	90%	TBD
3 rd story	*	*	25% Outside AICUZ	70%	50%	20%	80%	65%	40%	TBD
4 th story	*	*	0%	50%	35%	0%	65%	20%	0%	TBD
5 th story	*	*	0%	25%	0%	0%	25%	0%	0%	TBD
Building Separation Distance (min) (3)	10 ft	10 ft	*	*	*	*	*	*	*	TBD
Open Space (min per d/u)										
Private	See special req's	See special req's	*	*	*	*	*	*	*	TBD
Common	See special req's	See special req's	*	*	*	*	*	*	*	TBD

Table 9-4 - Development Standards for MUD1, MUD2, and Corridor Nodes
 (From Tables 9.07.090 & 9.07.100 of Development Code, and Table 10 of Vision Plan)

Development Feature	MUD1 (A) Office Primary	MUD2 (B) Commercial Primary	Gateway	Civic Center	Community	Neighborhood	Medical Center	Corridor General 1	Corridor General 2	Corridor Adjacent
	Existing	Existing	Vision Plan	Vision Plan	Vision Plan	Vision Plan	Vision Plan	Vision Plan	Vision Plan	Vision Plan
Setbacks – Parking Placement (min) (5)										
Front	20 ft	20 ft	65 ft	65 ft	65 ft	30 ft	65 ft	30 ft	65 ft	TBD
Street side	20 ft	20 ft	*	65 ft	*	*	65 ft	*	*	TBD
Interior side	10 ft	10 ft	*	5 ft	*	*	5 ft	*	*	TBD
Rear	10 ft	10 ft	*	5 ft	*	*	5 ft	*	*	TBD
Landscaping	Setback areas (exclusive of required walkways and driveways) shall be landscaped		*	*	*	*	*	*	*	TBD
Accessory Structures	Section 9.08.030 (Accessory Structures)		*	*	*	*	*	*	*	TBD

- (1) Measured from property line after dedications for public rights-of-way.
- (2) Subject to site plan review, it may be possible to reduce the front setback to ten ft for buildings other than front facing garages.
- (3) See Section 9.08.030 regarding accessory structures.
- (4) Calculations of FAR shall not include underground parking.
- (5) See also 9.07.100(E)(4) and (E)(5).

* Not specified.

A MUD-1 Existing legal lots of record containing less than the minimum required depth shall provide a front building setback or landscaping no greater than 20% of the depth of the property (excluding right-of-way area).
 Parcels created within integrated centers are exempt from the site development standards, as they relate to minimum site areas, and minimum lot width and depth, as long as a conceptual development plan for the entire center has been developed and approved and easements for reciprocal access, parking and maintenance are provided.

B Anything from MUD-2 to go here? 

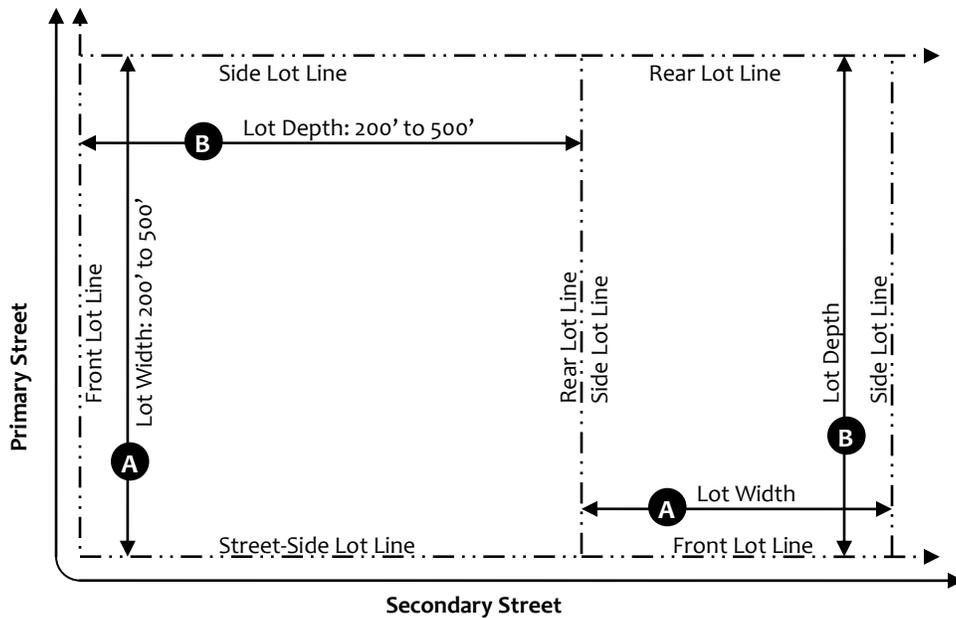
9.075.050 – Development Standards – Medical Center Mixed-Use (MDMU) [Overlay] Zone

This Section provides standards that govern development on properties located in the Medical Center Mixed-Use (MDMU) [Overlay] Zone.

A. Lot Standards - MDMU

A	Lot Width	200' minimum and 500' maximum
B	Lot Depth	200' minimum and 500' maximum

Lot Standards

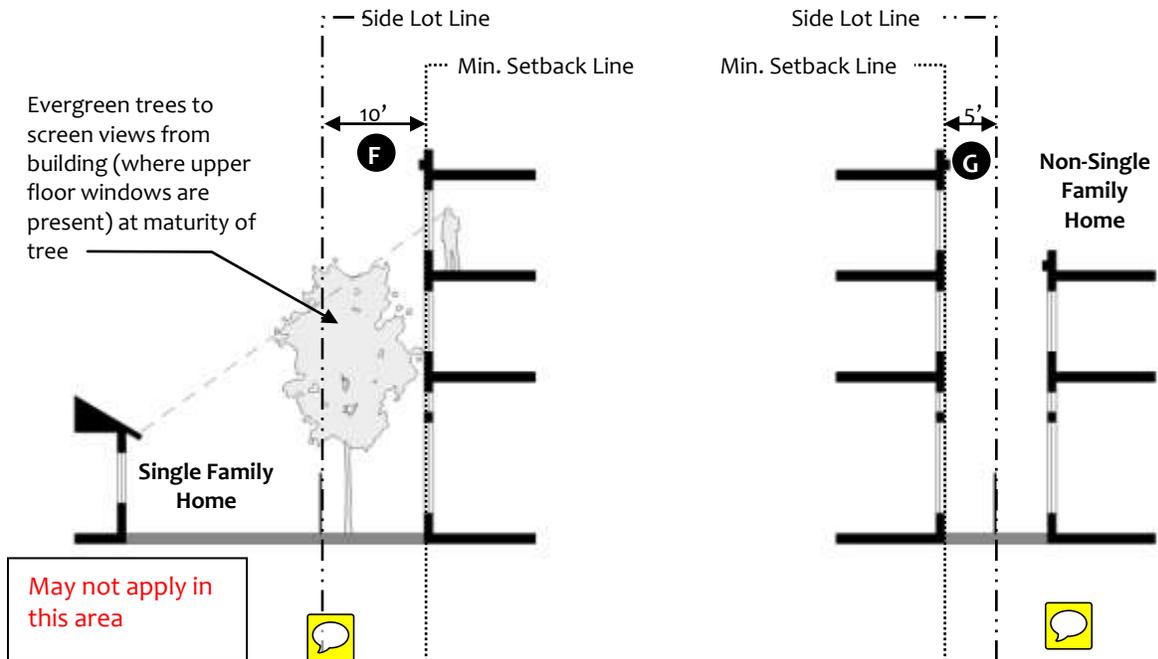
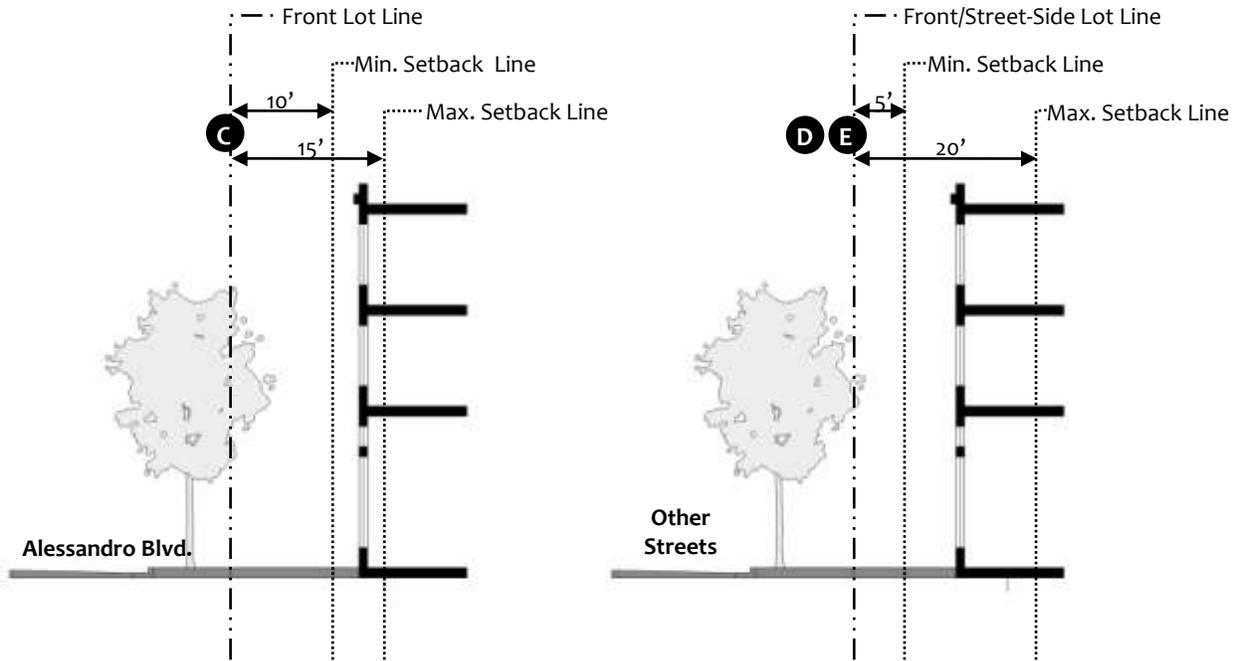


B. Building Placement Standards - MDMU

C	Front Setback (Along Alessandro Blvd.)	0' min. and 10' max.
D	Front Setback (Elsewhere)	5' min. and 15' max.
E	Street-Side Setback	0' min. and 10' max.
F	Side Setback	15' min.
G	Rear Setback	10' min.

Section 9.08.030 (Accessory Structures) identifies allowed projections into setback areas.

Building Placement Standards - MDMU



C. Building Form Standards - MDMU

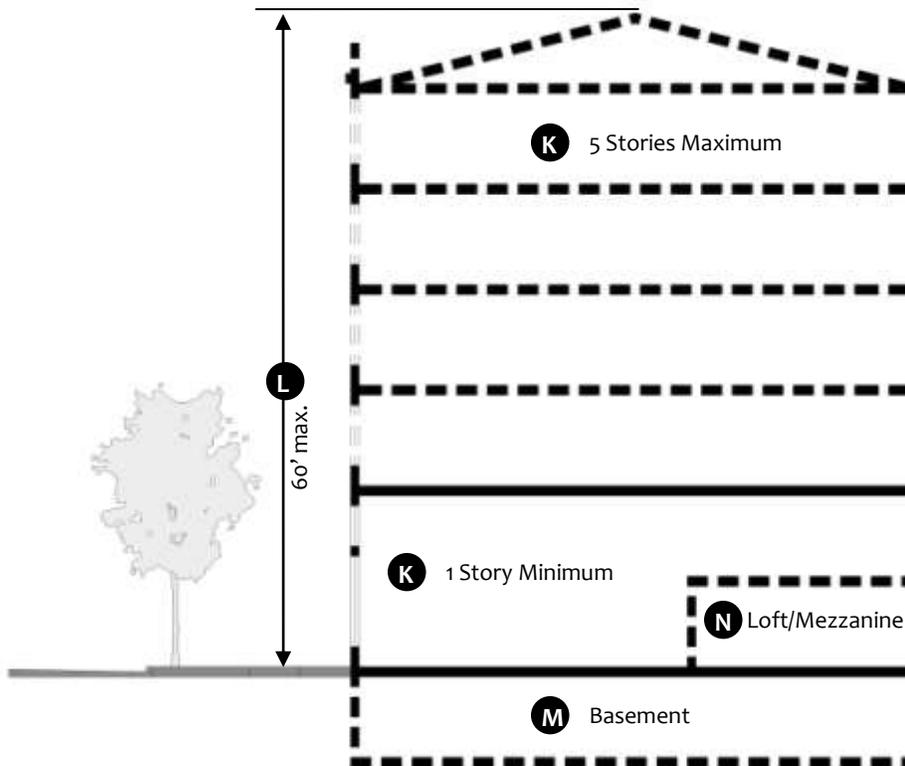
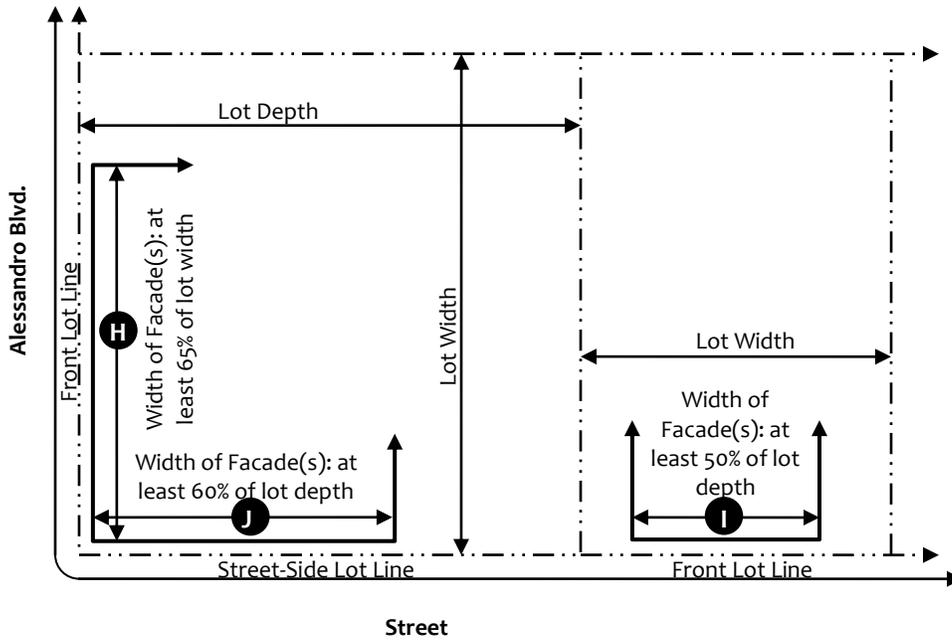
H	Cumulative Width of Facades along Front Lot Line along Alessandro Blvd.	Minimum of 65% of lot width
I	Cumulative Width of Facades along Front Lot Line (Elsewhere)	Minimum of 50% of lot width
J	Cumulative Width of Facades along Street-Side Lot Line (corner lots only)	Minimum of 60% of lot depth
K	Number of Stories	1 story minimum and 5 stories maximum
L	Maximum Height	60'
M	Basements	Allowed and shall not be counted as a story
N	Mezzanines/Lofts	Allowed and not counted as story if they are less than 1/3 of the unit's floor area.

D. Required Frontages on Front Facades - MDMU

O	Along Alessandro Blvd.	Storefront or Live-Work/Office Front
P	Elsewhere	Storefront, Live-Work/Office Front, Residential Front

Standards for the above frontages are provided in Section 9.075.080 (Frontage Standards).

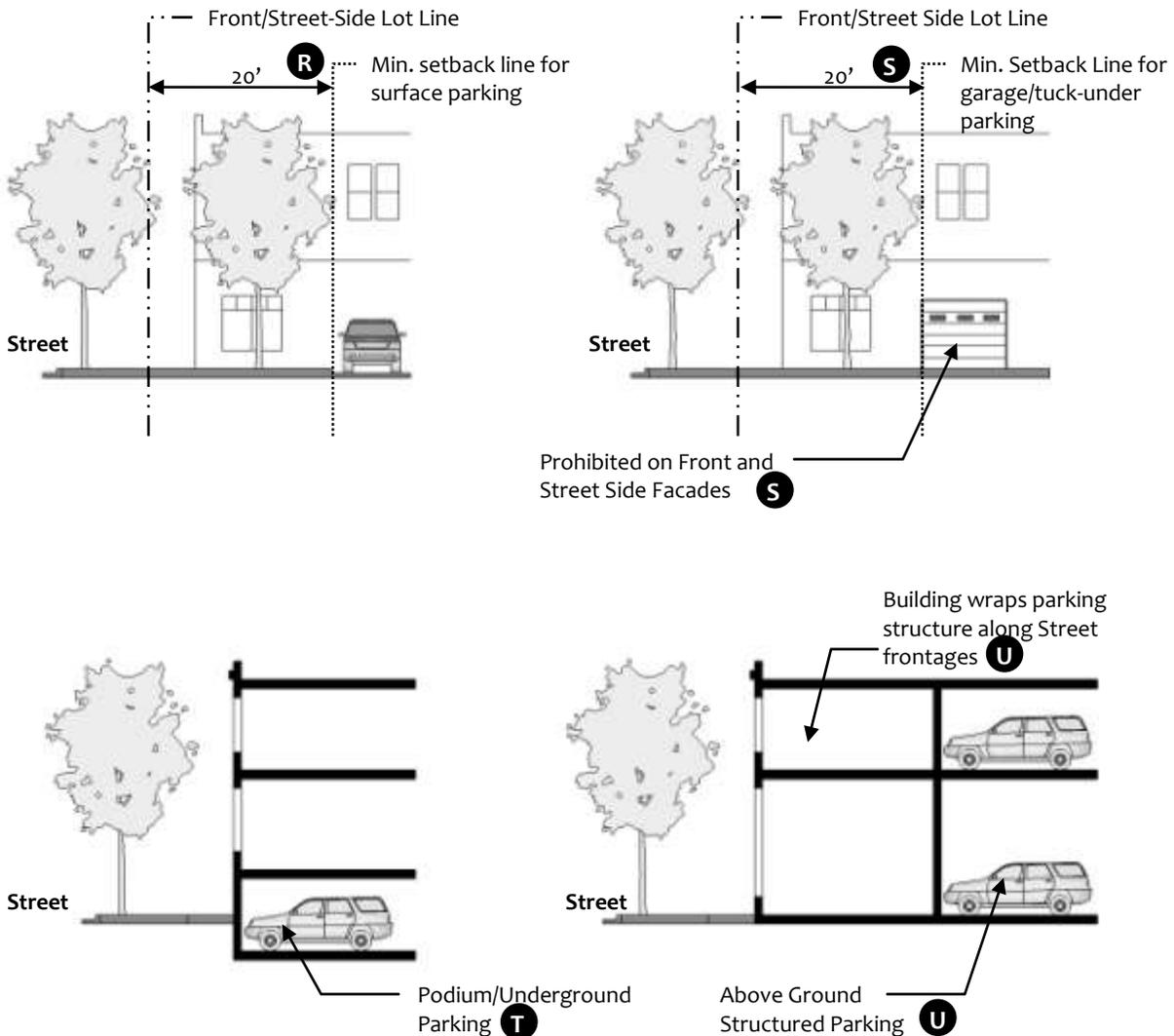
Building Form Standards - MDMU



E. Parking Placement - MDMU

R	Surface Parking	Allowed if located at least 20' from front and street-side lot lines
S	Garage/Tuck-Under Parking	Allowed if located at least 20' from front lot lines and if garage door/opening for tuck-under space is not located on the front or street-side facade. 
T	Underground/Podium Parking	Allowed beneath building footprints
U	Above Ground Structured Parking	Allowed if the parking levels are screened from views by buildings that wrap the parking structure along street frontages.

Parking Placement Standards



F. Building Uses – MDMU (Optional approach to use table in Section 9.075.030 above.)



V Ground Floor
(Along Alessandro Blvd. Frontage)

Allowed: retail, office, dining, service, lodging.

Allowable with Conditional Use Permit:
Bar/tavern/night club, meeting facility (public or private), any business operating between 9pm and 7am, firearm sales, ...

Specifically Prohibited: Auto service/repair, gas station, residential, ...

W Ground Floor
(Elsewhere)

Allowed: retail, office, dining, service, lodging.

Allowable with Conditional Use Permit:
Bar/tavern/night club, meeting facility (public or private), any business operating between 9pm and 7am, ...

Specifically Prohibited: Auto service/repair, gas station, ...

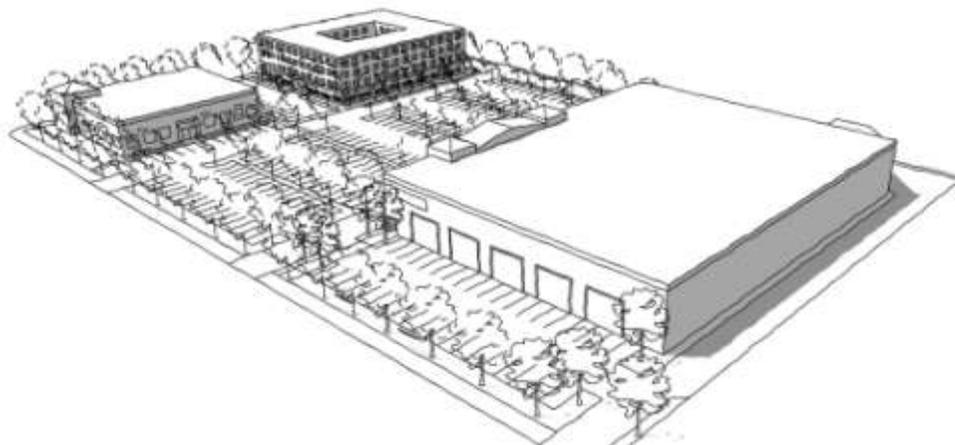
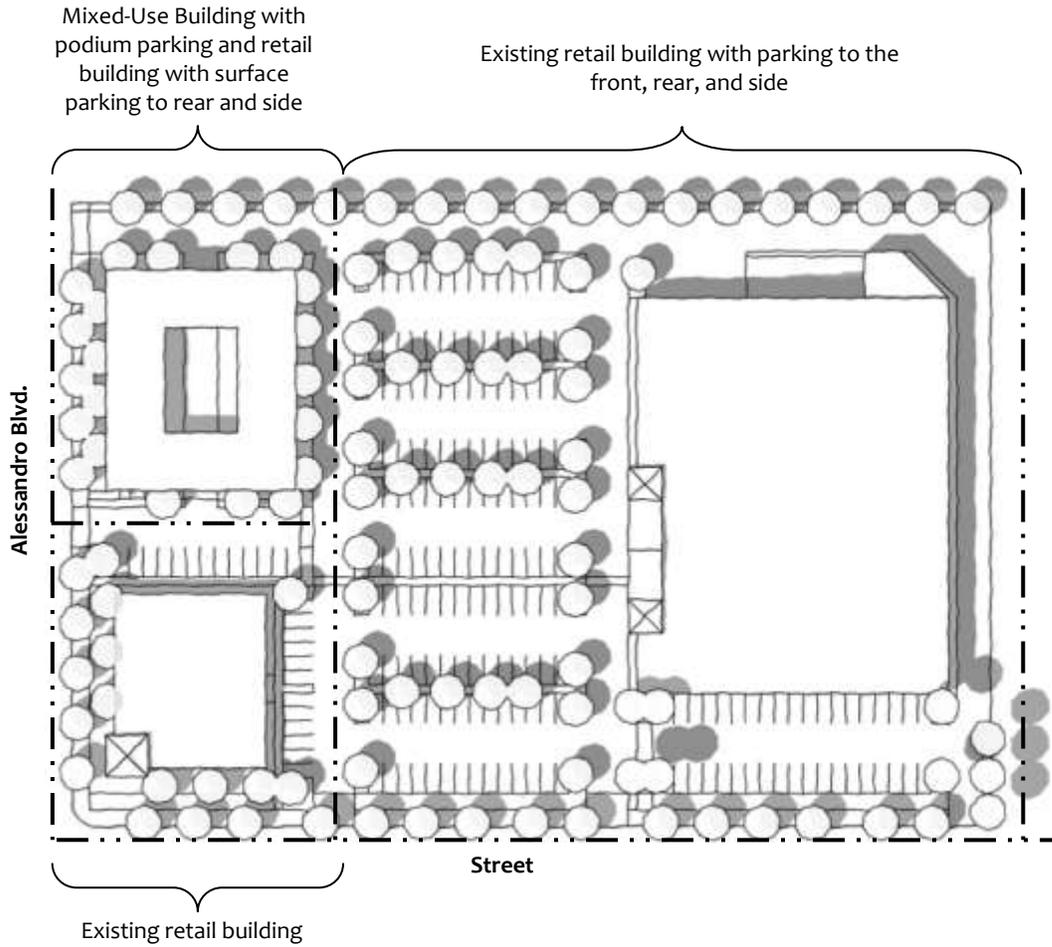
X Upper Floors

Allowed: office, dining, service, lodging,

Allowable with Conditional Use Permit: any business operating between 9pm and 7am,

Specifically Prohibited: Auto service/repair, gas station, ...

Figure 9-3
Example Development within the MDMU [Overlay] Zone



9.075.060 – Frontage Standards



This Section provides frontage standards for buildings in the Medical Center Mixed-Use (MDMU) [Overlay] Zone, etc..... Subsection 9.075.050.D (Required Frontages on Front Facades) determines where the frontages may be located.

A. Types of frontages

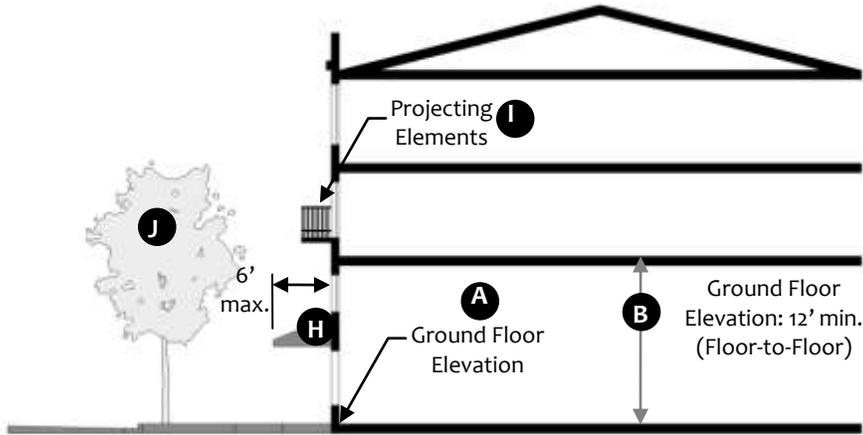
- 1. Live-Work/Office Fronts:** A frontage that reinforces both residential and work activities that can occur in the building. The elevation of the ground floor is located at or near the grade of sidewalk to provide direct public access to the building. Entrances and windows are provided on the front of the facade to provide eyes on the street and direct sidewalk access to commercial and office uses. The front setback (if provided) may be improved with landscaping or as an extension of the public sidewalk to create a more pedestrian friendly environment.
- 2. Residential Fronts:** A frontage that reinforces the residential character and use of the building. The elevation of the ground floor is elevated above the grade of the lot to provide privacy for residences by preventing direct views into the home from the sidewalk. Entrances and windows are provided on the front of the facade to provide eyes on the street and direct sidewalk access to the building. Stoops are allowed to project into the front setback to enhance entrances. The front setback is primarily improved with landscaping.
- 3. Storefronts:** A frontage that reinforces the commercial character and use of the ground floor of the building. The elevation of the ground floor is located at or near the grade of sidewalk to provide direct public access into the building. Large storefront display windows are provided on the front of the facade to encourage visual access to merchandise displays and to encourage window shopping. Awnings or marquees are provided over storefront windows and entrances. The front setback (if provided) is primarily improved as an extension of the public sidewalk to create a more pedestrian friendly environment.

B. Live-Work/Office Frontage Standards		
A	Elevation of Ground Floor	The ground floor elevation shall be located near the elevation of the sidewalk to minimize the need for external steps and external ADA ramps at public entrances.
B	Minimum Ceiling Height	12' minimum (floor-to-floor height)
C	Ground Floor Unit Entrances	All ground floor tenant spaces that have street frontage shall have entrances on a facade fronting a street. All other ground floor uses may have a common lobby entrance along the front facade or private entrances along other facades.
D	Upper Floor Unit Entrances	Entrances to upper floor units may be provided through a common lobby entrance and/or by a common entrance along a facade fronting a street.
E	Recessed Entrances	Entrances may be recessed into the facade.
F	Ground Floor Windows	At least 40% of the surface area of the ground floor facade ¹ shall be occupied by windows ² .
G	Upper Floor Windows	At least 25% of the surface area of each upper floor facade ¹ shall be occupied by windows ² .
H	Awnings and Marquees	Awnings or marquees may be provided over storefront windows and entrances. Awning and marquees may project up to 6' from the facade and extend over the sidewalk provided that at least 8' of vertical clearance is provided.
I	Projecting Elements (Balconies, Roof Overhangs, Shade Structures, and Bay Windows)	Projecting Elements on upper floors may project 3' from the facade and project into the setback.
J	Sidewalk and Setback Treatment	The public sidewalk shall be improved with street trees with an average spacing of 30' on-center and pedestrian-scaled street lights (no taller than 14'). If the front facade is setback from the public sidewalk, the setback shall be landscaped and/or improved as an extension of the public sidewalk.

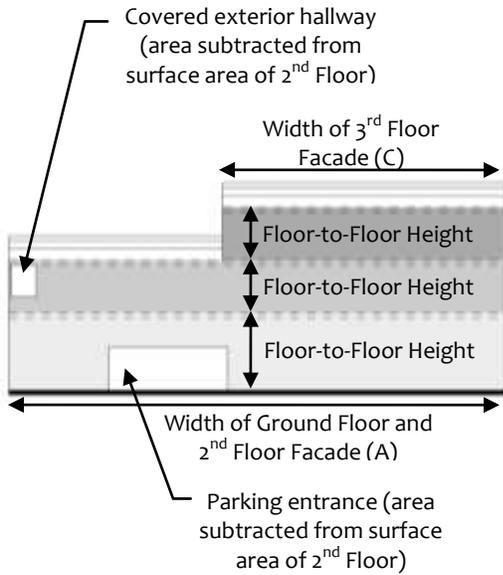
Notes:

1. As measured by multiplying the width of the facade by the floor-to-floor height. Opening in the facade (such as entrances to parking facilities or covered outdoor hallways/entrances) shall be subtracted from the surface area calculation.
2. All parts of the window (e.g. head, jamb, frame, sash, sill, muntin bars, and panes) that are visible on the elevation drawing shall be included as "window" in the calculation. Portions of the window that are not visible on the elevation drawing (such as a window that is blocked by a solid balcony wall) shall not be included in the calculation).

Live-Work/Office Frontage Standards



Note to Staff: floor-to-floor measurements were used because this is a constant, while ceiling heights may be changed easily by tenants



G Windows occupy at least 25% of the 2nd Floor Surface Area and 25% of the 3rd floor surface area



F Windows occupy at least 40% of the Ground Floor Surface Area



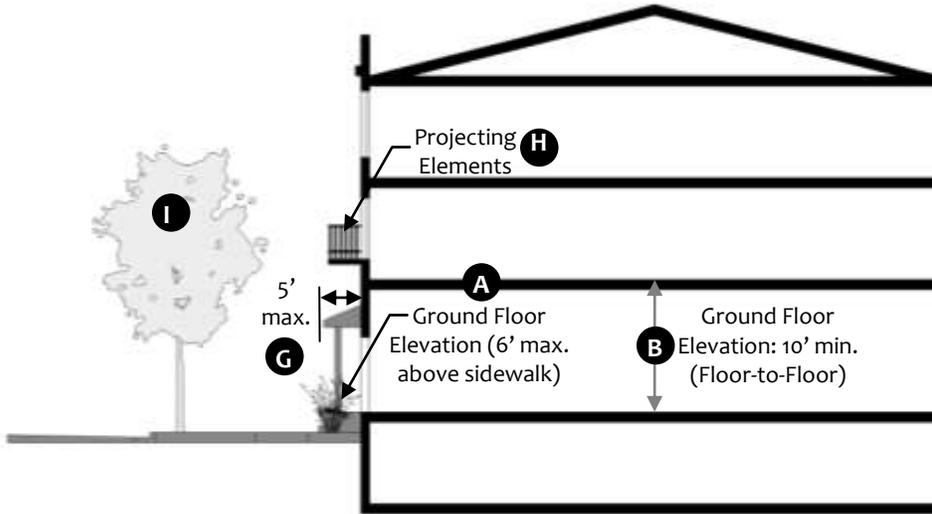
Examples of Live-Work Frontages

C. Residential Frontage Standards		
A	Elevation of Ground Floor	The ground floor elevation shall be located within 6' of the ground surface of the adjacent sidewalk or walkway.
B	Minimum Ceiling Height	10' minimum (floor-to-floor height)
C	Ground Floor Unit Entrances	Entrances to ground floor units that have street frontage may be provided through a common lobby entrance and/or by private entrances from the adjacent sidewalk.
D	Upper Floor Unit Entrances	Entrances to upper floor units may be provided through a common lobby entrance and/or by a common entrance along a facade fronting a street.
E	Recessed Entrances	Entrances may be recessed into the facade.
F	Ground and Upper Floor Windows	At least 25% of the surface area of the ground and upper floor facade ¹ shall be occupied by windows ² .
G	Stoops and Front Porches	Stoops and front porches may be provided in front of building and unit entrances. Stoops and front porches may project up to 5' from the facade and project into the setback.
H	Projecting Elements (Balconies, Roof Overhangs, Shade Structures, and Bay Windows)	Projecting Elements on upper floors may project 3' from the facade and project into the setback.
I	Sidewalk and Setback Treatment	The public sidewalk shall be improved with street trees with an average spacing of 30' on-center and pedestrian-scaled street lights (no taller than 14'). If the front facade is setback from the public sidewalk, the setback shall be landscaped (excluding stoops/front porches and paved paths to building entrances).

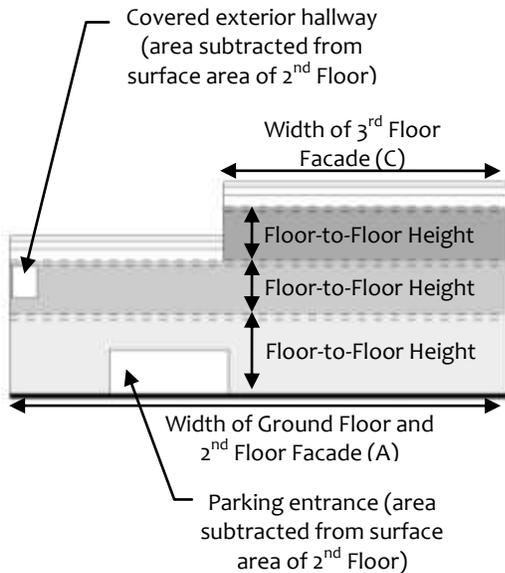
Notes:

1. As measured by multiplying the width of the facade by the floor-to-floor height. Opening in the facade (such as entrances to parking facilities or covered outdoor hallways/entrances) shall be subtracted from the surface area calculation.
2. All parts of the window (e.g. head, jamb, frame, sash, sill, muntin bars, and panes) that are visible on the elevation drawing shall be included as "window" in the calculation. Portions of the window that are not visible on the elevation drawing (such as a window that is blocked by a solid balcony wall) shall not be included in the calculation).

Residential Frontage Standards



Note to Staff: floor-to-floor measurements were used because this is a constant, while ceiling heights may be changed easily by tenants



F Windows occupy at least 25% of the 2nd Floor Surface Area and 25% of the 3rd floor surface area



F Windows occupy at least 25% of the Ground Floor Surface Area



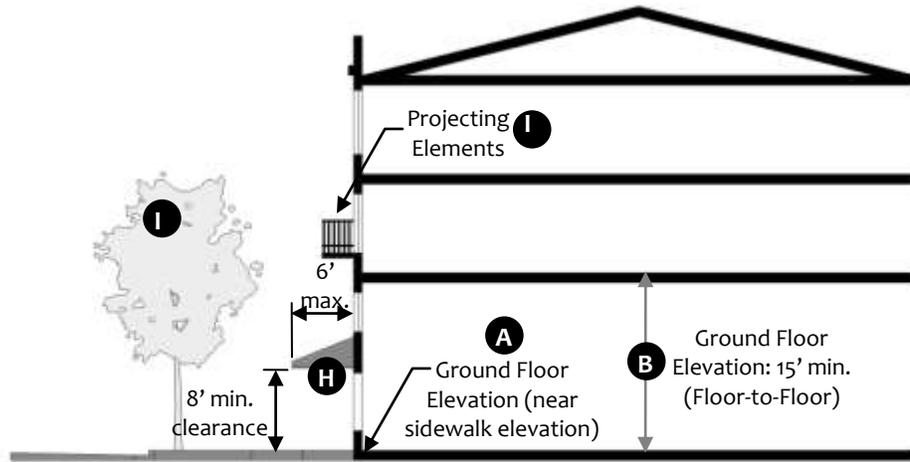
Examples of Residential Frontages

D. Storefront Standards		
A	Elevation of Ground Floor	The ground floor elevation shall be located near the elevation of the sidewalk to minimize the need for external steps and external ADA ramps at public entrances.
B	Minimum Ceiling Height	15' minimum (floor-to-floor height)
C	Storefront Entrances	All ground floor tenant spaces that have street frontage shall have storefront entrances on a facade fronting a street.
D	Lobby Entrances	Lobby entrances to upper floor uses shall be located on a facade fronting a street.
E	Recessed Entrances	Storefront and lobby entrances may be recessed into the facade.
F	Ground Floor Windows	At least 50% of the surface area of the ground floor facade ¹ shall be occupied by windows ² .
G	Upper Floor Windows	At least 25% of the surface area of each upper floor facade ¹ shall be occupied by windows ² .
H	Awnings and Marquees	Awnings or marquees are required over storefront windows and entrances. Awning and marquees may project up to 6' from the facade and extend over the sidewalk provided that at least 8' of vertical clearance is provided.
I	Projecting Elements (Balconies, Shade Structures, and Bay Windows)	Projecting Elements on upper floors may project 3' from the facade and project into the setback.
J	Sidewalk and Setback Treatment	The public sidewalk shall be improved with street trees with an average spacing of 30' on-center and pedestrian-scaled street lights (no taller than 14'). If the front facade is setback from the public sidewalk, the setback shall be improved as an extension of the public sidewalk.

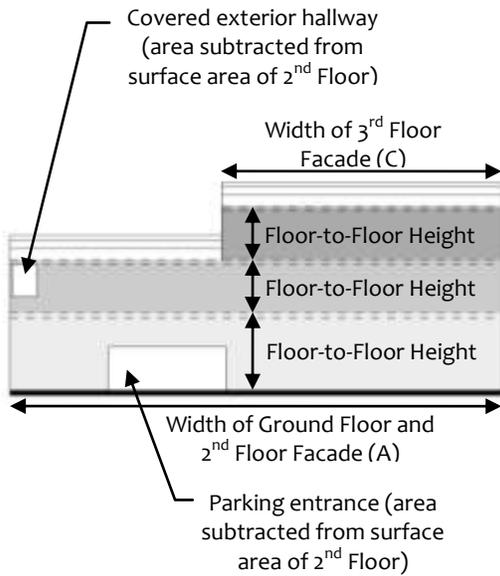
Notes:

1. As measured by multiplying the width of the facade by the floor-to-floor height. Opening in the facade (such as entrances to parking facilities or covered outdoor hallways/entrances) shall be subtracted from the surface area calculation.
2. All parts of the window (e.g. head, jamb, frame, sash, sill, muntin bars, and panes) that are visible on the elevation drawing shall be included as "window" in the calculation. Portions of the window that are not visible on the elevation drawing (such as a window that is blocked by a solid balcony wall) shall not be included in the calculation).

Storefront Standards



Note to Staff: floor-to-floor measurements were used because this is a constant, while ceiling heights may be changed easily by tenants



G Windows occupy at least 25% of the 2nd Floor Surface Area and 25% of the 3rd floor surface area



F Windows occupy at least 50% of the Ground Floor Surface Area

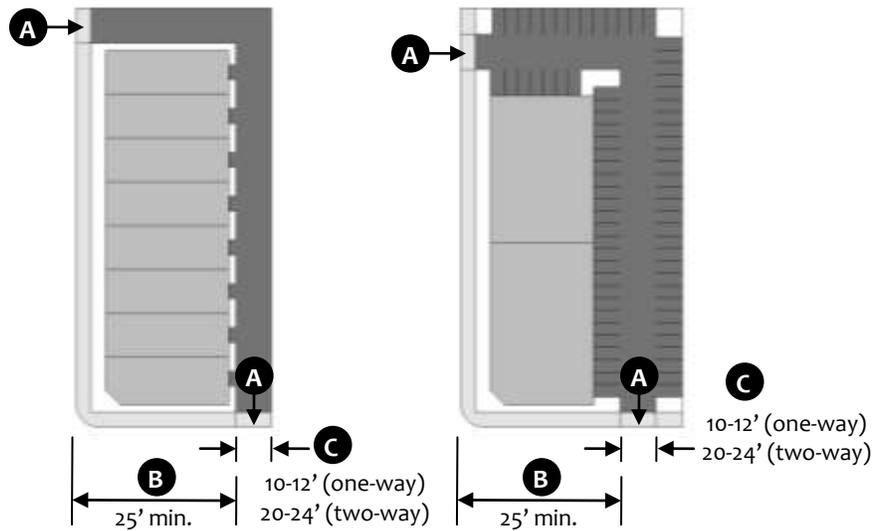


Examples of Storefronts

9.075.070 – Driveway Standards

This Section will include standards for the design (width, pavement, fire access requirements, etc.) and placement (distance from intersections, line of sight standards, etc.) of driveways.

A. Driveway Standards	
A Access	Driveway access to a lot may be provided from a street or an adjacent property (if a shared access easement is provided). Driveways are encouraged to connect to other driveways to increase accessibility.
B Location	Driveway access points are prohibited within 25' of street intersections.
C Width	One-way driveways shall be 10' to 12' in width and two-way driveways shall be 20' to 24' in width.



9.075.080 – Incentives

A. Lot Consolidation Incentive Program. [STAFF: It is our understanding that small lots do not front Alessandro Boulevard, but they could exist in other areas of the City.] In order to encourage the assembly of smaller existing lots into larger lots that can be more efficiently developed into a mixed-use project, the following incentives are offered:

1. Allowable incentives for lot consolidation:

- a. Reduction in required parking for a mixed-use project. 
- b. Increase in maximum total sign area, up to a maximum of 20 percent. 
- c. Increase in maximum parcel coverage, up to a maximum of 10 percent.
- d. Reduction in common and/or private open space requirements, up to a maximum of 10 percent.
- e. Priority (e.g., fast-track) permit processing.
- f. City participation in provision of infrastructure (e.g., installation of curb, gutter, and sidewalk, installation of streetscape, undergrounding of utilities, upgrading of utilities, etc.). 

2. Lot consolidation thresholds:

- a. Consolidation of existing small lots into a development project site of one acre or greater up to two acres: Any two of the allowable incentives identified above, except for items e. and f. 
- b. Consolidation of existing small lots into a development project site of two acres or greater: Any four of the allowable incentives identified above.

B. Modifications. Modifications of certain standards that reflect less demand in mixed-use projects, such as off street parking. See Section _____ . 

C. Alternative Compliance. An applicant may propose alternative compliance to the strict application of design standards, such that the alternative: 1) achieves the intent of the subject design standard to the same or better degree than the subject standard; 2) achieves the mixed use goals and policies in the comprehensive plan to the same or better degree than the subject standard; and 3) results in equivalent or better benefits to the community as compliance with the subject design standard. 

D. Longer Term of Approval . A longer term of approval for concept plans.

E. Longer Vesting of Property Rights. Longer vesting of property rights connected with an approved development plan.



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Part Four – Putting It All Together

Alessandro Boulevard Street and Streetscape Design Guidelines

- To be determined.
- Could contain street and streetscape design guidelines, including street cross-sections.

Mixed-Use Development Design Guidelines

- To be determined.
- Could contain general guidelines for block structure and street networks; pedestrian circulation, access, and connections; and utility placement.
- Note: See Page 35 of this document with excerpt from Alessandro Boulevard T.O.D Corridor Study – Existing Conditions Report – Executive Summary (pg. 9) – on Zoning Context issues

Mobility Plan

- To be determined

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