

Chapter 20.230 – Mixed-Use Overlay Zones

New

STAFF: Note that this Chapter has been revised based upon your comments on the Concept Draft and has been somewhat revised in organization to better fit within the context of the entire Article 2.

Sections:

- 20.230.010 – Purposes of Mixed-Use Overlay Zones
- 20.230.020 – Applicability
- 20.230.030 – Mixed-Use Overlay Zone Land Uses and Permit Requirements
- 20.230.040 – Standards and Guidelines Applicable to All Mixed-Use Overlay Zones
- 20.230.050 – Development Standards – General Mixed-Use (GLMX) Overlay Zone
- 20.230.060 – Development Standards – North Gateway Mixed-Use (NGMX) Overlay Zone
- 20.230.070 – Development Standards – South Gateway Mixed-Use (SGMX) Overlay Zone
- 20.230.080 – Frontage Standards
- 20.230.090 – Driveway Standards

20.230.010 – Purposes of Mixed-Use Overlay Zones

A. General purposes. The general purposes of the mixed-use overlay zones are to:

1. Promote infill development in strategic areas of the City;
2. Facilitate well-designed new mixed-use development projects that combine residential and nonresidential uses (e.g., office, retail, business services, personal services, public spaces and uses, other community amenities, etc.) to promote a better balance of jobs and housing ;
3. Ensure compatibility with adjacent existing single-family neighborhoods and harmonious integration with existing commercial areas;
4. Create an integrated, walkable pedestrian environment that reduces dependence on the automobile for everyday needs, through a streetscape that is connected, attractive, safe, and engaging; and
5. Stimulate market-driven development investment by providing flexible regulations that enable property owners to adapt project design to respond to market forces.

B. Purposes of specific zones. Table 2-13 (Mixed-Use Overlay Zone Descriptions) provides descriptions and representative images of the character of the individual mixed-use overlay zones.

Table 2-13: Mixed-Use Overlay Zone Descriptions

General Mixed-Use (GLMX) Overlay Zone



The GLMX Overlay Zone applies to the middle section of Beach Boulevard approximately between Katella Avenue and Catherine Avenue. The intent is to provide commercial activity centers that serve surrounding neighborhoods with a mix of retail, office, service, civic and residential uses. Vertical and horizontal mixed-use development up to three stories in height is allowed. Appropriate residential types may include residential uses located above retail uses, townhouses, and apartments. See Figure 2-1 (Example Development in GLMX Overlay Zone).



North Gateway Mixed-Use (NGMX) Overlay Zone



The NGMX Overlay Zone applies to the northernmost end of Beach Boulevard and Starr Street. The intent is to provide commercial, office, and residential uses that serve the City's northern residential areas and neighboring Anaheim areas. Vertical and horizontal mixed-use and residential development is allowed up to three stories in height. Commercial or live-work uses are required on the ground floor of buildings facing Beach Boulevard. Commercial and/or residential uses are allowed in other locations. See Figure 2-2 (Example Development in NGMX Overlay Zone).



South Gateway Mixed-Use (SGMX) Overlay Zone



The SGMX Overlay Zone applies to the southern end of Katella Avenue, which is the main entryway into the City for travelers arriving from the Garden Grove Freeway (State Road 22) and from communities further south on Beach Boulevard. Commercial, office, and residential uses are allowed up to five stories in height. Uses may be vertically or horizontally integrated, with an emphasis on freeway-oriented commercial and office uses. Uses may range from regional mall anchor stores, government offices, and corporate headquarters to specialty retail and higher-density housing. See Figure 2-3 (Example Development in SGMX Overlay Zone).



20.230.020 – Applicability

A. Base zone standards.

1. The provisions in this Chapter shall apply to all properties within their respective mixed-use overlay zones, but the provisions do not supersede the underlying base zone provisions until a property is developed in compliance with the provisions of this Chapter. Once a property is developed in compliance with the provisions of this Chapter, the provisions of this Chapter completely supersede the provisions of the underlying base zone.
2. Regulations, development standards, and requirements in the underlying base zones shall continue to apply to those projects that are currently developed according to the existing standards.
3. For those properties that are currently developed as legal non-conforming uses (i.e., that do not comply with the provisions of the base zone or the provisions of this Chapter), the regulations, development standards, and requirements in Chapter 20.605 (Nonconforming Parcels, Structures, and Uses) shall apply.
4. New projects may also be developed in compliance with the existing underlying base zone, provided that all standards and requirements of the underlying base zone are met.

B. Option to apply mixed-use standards.

1. The owner or developer of any property within any of the three mixed-use overlay zones may choose to develop in compliance with the standards and procedures in this Chapter that apply to the particular mixed-use overlay zone in which the property is located.
2. In order to exercise the option to develop under the provisions in this Chapter, approval of a [Minor??? or] Major Site Plan and Design Review shall be required in compliance with Chapter 20.530 (Site Plan and Design Review). In granting the approval, the review authority shall find that the proposed development is in compliance with the provisions of this Chapter. [STAFF: Chapter 20.530 (Site Plan and Design Review) will have a table with thresholds for project review. We will provide some suggestions for your consideration in that draft chapter.]
3. In order to facilitate project and site design consistent with this Chapter, any development proposed through the optional application of any of the mixed-use overlay zones shall consist of newly constructed buildings. No uses shall be located in rehabilitated or reused buildings.

- C. Relationship to Livable Beach Boulevard Mobility Study.** Projects on property in any mixed-use overlay zone that has frontage along Beach Boulevard, whether developed in compliance with the base zone standards or the standards in this Chapter, shall be subject to the guidelines in the *Livable Beach Boulevard Mobility Study*. If there is a conflict between the standards in this Chapter and the guidelines in the *Livable Beach Boulevard Mobility Study*, the standards of this Chapter shall apply.

20.230.030 – Mixed-Use Overlay Zone Land Uses and Permit Requirements

B. Allowed land uses.

1. Table 2-14 indicates the uses allowed within each mixed-use overlay zone and the planning permit required to establish each use, in compliance with Article 5 (Planning Permit Procedures).
2. Residential, retail, commercial, and office uses that are combined in vertical or horizontal mixed-use projects represent the principal allowed uses, and only those additional uses that are complementary to, and can exist in harmony with, the character of each zone may be allowed as accessory, conditionally permitted, and/or temporary uses.

Table 2-14 Allowed Land Uses and Permit Requirements Mixed-Use Overlay Zones	P=Zoning Clearance (20.560) CUP=Conditional Use Permit (20.550) MUP=Minor Use Permit (20.550)			T=Temporary Use Permit (20.5xx) ---=Prohibited
	See Chapter 20.205 (General Permit Requirements).			
Land Use See Article 7 (Definitions) See Section 20.205.040 for unlisted uses and exempt uses.	GLMX	NGMX	SGMX	Specific Use Regulations
Education, Recreation, and Assembly Uses				
Amusement Devices Accessory (up to 4 devices)	P	P	P	
Assembly/Meeting Facilities	CUP	CUP	CUP	
Commercial Recreation Facility	CUP	CUP	CUP	MC Chapter 5.20, 5.68, 9.90 20.4xx.xxx
Schools - Specialty	CUP	---	CUP	
Studios for Art, Dance, Martial Arts, Music 2,000 sq ft or less	P	P	P	
Industry, Manufacturing, and Warehousing Uses				
Handcraft Manufacturing	P	P	P	
Residential Uses				
Single-Family Dwellings - Attached				
Located on 1 st floor	P (1)	P (1)	P (1)	
Located above 1 st floor	P	P	P	
Two-Family Dwellings				
Located on 1 st floor	P (1)	P (1)	P (1)	
Located above 1 st floor	P	P	P	
Multi-Unit Dwellings				
Located on 1 st floor	P (1)	P (1)	P (1)	
Located above 1 st floor	P	P	P	
Mixed-Use Development – Residential Component	P	P	P	
Home Occupations	P	P	P	20.4xx.xxx
Live-Work Units	P	P (2)	P	20.4xx.xxx
Care Uses				
Adult Day Care Home – Small (up to 6)	P	P	P	
Child Day Care Home – Small (up to 8)	P	P	P	
Day Care Center, General (15 or more children/adults)	MUP	---	MUP	20.4xx.xxx
Caretaker Housing	P	P	P	
Residential Care Home – Small (up to 6)	P	P	P	
Residential Care Facility for Elderly	P	P	P	
Supportive Housing	P	P	P	20.4xx.xxx

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	See Chapter 20.205 (General Permit Requirements).			
Land Use See Article 7 (Definitions) See Section 20.205.040 for unlisted uses and exempt uses.	GLMX	NGMX	SGMX	Specific Use Regulations
Transitional Housing	P	P	P	20.4xx.xxx
Retail Trade Uses				
Accessory Retail Sales and Services	P	P	P	20.4xx.xxx
Alcohol Sales	P/CUP	P/CUP		20.4xx.xxx MC Chapter 9.54
Farmers' Market	P	P		
Food and Beverage Sales				
Convenience Market	P	P	P	
Grocery, Specialty Food	P	P	P	
Outdoor Retail Display and Sales	MUP	MUP	MUP	20.4xx.xxx
Retail Sales-General Merchandise (Up to 10,000 sq ft)	P	P	P	
Secondhand Stores	P	P	P	
Service Uses – Business and Professional				
Artist's Studio	P	P	P	
ATM's	P	P	P	
Business Support Services	P	P	P	
Financial Institutions	P	P	P	
Medical Services – Offices	P	P	P	
Offices				
Business/Service	P	P	P	
Professional	P	P	P	
Temporary	P	P	P	20.4xx.xxx
Service Uses - General				
Animal Services				
Animal Retail Sales	P	P	P	20.4xx.xxx
Grooming	P	P	P	20.4xx.xxx
Veterinary Services	CUP	---	CUP	20.4xx.xxx
Eating and Drinking Establishment				
Accessory Food Service	P	P	P	
Bars and Nightclubs	CUP	CUP	CUP	
Fast Food Restaurant				
Within 500 feet of residential zone	MUP	MUP	MUP	
More than 500 ft away from residential zone	P	P	P	
Food Carts	MUP	MUP	MUP	20.4xx.xxx
Full-Service Restaurant	P	P	P	
Late Hour Operations	MUP	MUP	MUP	20.4xx.xxx
Outdoor Dining, Accessory	MUP	MUP	MUP	20.4xx.xxx
Health/Fitness Facilities				
Small – 2,000 sq ft or less	P	P	P	
Large – Over 2,000 sq ft	CUP	CUP	CUP	
Hotel or Motel	CUP	CUP	CUP	MC Chapter 9.52
Massage Establishments, General	MUP	MUP	MUP	MC Chapter 5.16 20.4xx.xxx
Massage Services, Accessory	P	P	P	MC Chapter 5.16 20.4xx.xxx
Personal Services				
General	P	P	P	
Restricted	CUP	CUP	CUP	MC Chapter 9.36

Table 2-14 Allowed Land Uses and Permit Requirements Mixed-Use Overlay Zones	P=Zoning Clearance (20.560) CUP=Conditional Use Permit (20.550) MUP=Minor Use Permit (20.550)			T=Temporary Use Permit (20.5xx) ---=Prohibited
	See Chapter 20.205 (General Permit Requirements).			
Land Use See Article 7 (Definitions) See Section 20.205.040 for unlisted uses and exempt uses.	GLMX	NGMX	SGMX	Specific Use Regulations
Postal Services	P	P	P	
Printing and Duplicating	P	P	P	
Public and Semi-Public Uses				
Cultural Institutions	P	---	P	
Parks and Playgrounds	P	P	P	
Paths and Trails	P	P	P	
Transportation, Communication, and Infrastructure Uses				
Parking Facilities - Commercial or Public	P	P	P	
Transit Stop Shelter	P	P	P	
Utility Service Facilities				
Minor	P	P	P	20.3xx.xxx
Major	CUP	CUP	CUP	
Utility Infrastructure	P	P	P	20.4xx
Wireless Communication Facilities				
Minor	MUP	MUP	MUP	20.4xx
Major	CUP	CUP	CUP	20.4xx
Satellite/Dish Antennae	P	P	P	20.4xx.xxx
Vehicle Rentals, Sales, and Services				
Motor Vehicle/RV/Boat Rentals and Sales Office Only	P	P	P	
Motor Vehicle/RV/Boat Services				
Car Wash – Self-Service	---	---	CUP	
Service Station	---	---	CUP	
Other Uses				
Accessory Nonresidential Structures	MUP	MUP	MUP	20.4xx.xxx
Filming Activities	P	P	P	MC Chapter 5.52
Garage Sales	P	P	P	
Temporary Uses	T	T	T	20.5xx
Notes:				
1) Not allowed on ground floor of building fronting on Beach Boulevard, Katella Avenue, Knoll Avenue, Magnolia Avenue, Garden Grove Boulevard, and Lampson Avenue. [STAFF: We will have to revise this use table to clarify which uses are not allowed on the ground floor when fronting certain streets.]				
2) Commercial or live-work uses are required on ground floor of buildings that front Beach Boulevard.				

20.230.040 – Standards and Guidelines Applicable to All Mixed-Use Overlay Zones

A. Applicable development standards. Mixed-use projects shall comply with the general development standards in this Section and the applicable zone-specific standards in Sections 20.230.050 (Development Standards - GLMX Overlay Zone), 20.230.060 (Development Standards - NGMX Overlay Zone), and 20.230.070 (Development Standards - SGMX Overlay Zone), in addition to the standards and guidelines in Article 3 (Site Planning and Development Standards) (e.g., landscaping, parking and loading, signs, etc.) and Article 4 (Standards for Specific Land Uses (e.g., accessory structures, multi-family development, outdoor dining, etc.).

STAFF: We may need to add the following standards to Sections 20.230.050 (Development Standards - GLMX Overlay Zone), 20.230.060 (Development Standards - NGMX Overlay Zone), and 20.230.070 (Development Standards - SGMX Overlay Zone). The setbacks, lot coverage, landscaping, parking, and height restrictions may be sufficient to cover intensity. We will have to do some calculations based upon a typical lot in each of the mixed-use overlay zones.

Development Feature	GLMX	NGMX	SGMX
Density Range - Residential Uses	Minimum/Maximum Dwelling Units Per Net Acre		
	12.1 to 45	12.1 to 45	XX to 60
Floor Area Ratio (FAR) - Nonresidential Uses	Maximum		
	2.00	2.00	3.00
Common Residential Open Space	Minimum per Dwelling Unit The minimum dimension shall be 15 feet.		
	75 sq ft	75 sq ft	75 sq ft
Private Residential Open Space	Minimum per Dwelling Unit The minimum dimension shall be 5 feet.		
	50 sq ft	75 sq ft	50 sq ft

B. Integration of uses.

1. **Integration defined.** Potential ways to integrate the uses allowed in the GLMX, NGMS, and SGMX overlay zones include:
 - a. **Vertical integration.** A mix of nonresidential uses (i.e., commercial, retail, and/or office) located on the ground floor with residential dwelling units located above.
 - b. **Horizontal integration.** A mix of nonresidential uses located on the primary street frontage of a parcel and residential uses located at the rear of a parcel.
 - c. **Combined approach.** A combination of vertical and horizontal integration of nonresidential and residential uses.

[STAFF: The following sample provisions are for your consideration and will need more work.]

2. **GLMX Overlay Zone.** In the GLMX Overlay Zone, nonresidential and residential uses shall be vertically integrated whenever possible; however, stand-alone residential projects and stand-alone nonresidential projects are allowed when planned and designed as an integrated element of a larger mixed-use development area.

3. **NGMX Overlay Zone.** In the NGMX Overlay Zone, both vertical and/or horizontal integration of nonresidential and residential uses shall be allowed; however, stand-alone residential projects and stand-alone nonresidential projects are allowed when planned and designed as an integrated element of a larger mixed-use development area. Nonresidential uses and access that serves nonresidential uses shall not be allowed on _____ Street.
 4. **SGMX Overlay Zone.** In the SGMX Overlay Zone, both vertical and/or horizontal integration of nonresidential and residential uses shall be allowed subject to the following:
 - a. Lots of one (1) acre or greater. Lots of one (1) acre or greater in total net area shall provide a vertical and/or horizontal mix of nonresidential and residential uses.
 - b. Lots of less than one (1) acre. Lots of less than one (1) acre in total net area may either:
 - (1) Provide a vertical and/or horizontal mix of nonresidential and residential uses; or
 - (2) Incorporate stand-alone residential projects at a maximum density of **XX** du/acre or stand-alone nonresidential projects. For lots fronting Beach Boulevard, no stand-alone residential projects shall be allowed.
- C. Lot Consolidation Incentive Program.** In order to encourage the assembly of smaller existing lots into larger lots that can be more efficiently developed into a mixed-use project, the following incentives are offered:
1. **Allowable incentives for lot consolidation:**
 - a. Reduction in required parking for a mixed-use project.
 - b. Increase in maximum total sign area, up to a maximum of 20 percent.
 - c. Increase in maximum parcel coverage, up to a maximum of 10 percent.
 - d. Reduction in common and/or private open space requirements, up to a maximum of 10 percent.
 - e. Priority (e.g., fast-track) permit processing.
 - f. City participation in provision of infrastructure (e.g., installation of curb, gutter, and sidewalk, installation of streetscape, undergrounding of utilities, upgrading of utilities, etc.).
 2. **Lot consolidation thresholds:**
 - a. Consolidation of existing small lots into a development project site of one acre or greater up to two acres: Any two of the allowable incentives identified above, except for items e. and f.
 - b. Consolidation of existing small lots into a development project site of two acres or greater: Any four of the allowable incentives identified above.

D. Operational standards.

1. **Hours of operation.** Outdoor nonresidential uses in mixed-use projects shall be prohibited from operating between the hours of 10:00 p.m. and 7:00 a.m. These hours may be modified through approval of a Conditional Use Permit in compliance with Chapter 20.550 (Use Permits - Minor and Conditional).
2. **Joint tenants and owners association.**
 - a. A joint tenants and owners association shall be formed to ensure the well-being of each tenant and owner in a mixed-use project.
 - b. The association bylaws, including voting rights, shall be subject to review by the City Attorney and approval by the Director. The association's bylaws shall include the following:
 - (1) Assignment of parking spaces per each use.
 - (2) Identification of maintenance responsibilities for landscaping, parking facilities, and recycling and refuse storage facilities.
 - (3) Noise notification procedures.
 - (4) Relationship between uses regarding association representation.
 - (5) Voting procedures.
 - (6) Procedures for solving problems that may arise between the different types of uses or residents.
3. **Loading and unloading activities.** Where applicable, the covenants, conditions, and restrictions of a mixed-use project shall indicate the times when the loading and unloading of goods may occur on the street, provided that in no event shall loading or unloading take place after 10:00 p.m. or before 7:00 a.m. on any day of the week.
4. **Noise notification.**
 - a. Residents, whether owners or tenants, of a mixed-use development project shall be notified in writing before taking up residence that they will be living in an urban type of environment and that the noise levels may be higher than a typical residential area.
 - b. The covenants, conditions, and restrictions of a mixed-use project shall require that the residents acknowledge their receipt of the written noise notification. Their signatures shall confirm receipt and understanding of this information.
5. **Nuisance mitigation.** The location and design of recycling and refuse storage facilities shall mitigate nuisances from odors when residential uses might be impacted.
6. **Sound mitigation.** Residential dwelling units shall be designed to be sound attenuated against present and future project noise. New projects or new nonresidential uses in existing projects shall provide an acoustical analysis report, by an acoustical engineer, describing the acoustical design features of the structure required to satisfy the exterior and interior noise standards.

E. Site Planning and Design Guidelines.

1. Site Organization Guidelines

- a. Separate site access drives and parking facilities should be provided for the residential and nonresidential uses.
- b. Site access drives should incorporate distinctive architectural elements, landscape features, and signs to help differentiate access to nonresidential parking areas from residential parking areas.
- c. Loading areas and trash enclosure facilities for the nonresidential use should be located as far away as possible from residential units and should be completely screened from view from adjacent residential portions of the project or another adjacent residential uses. The location and design of trash enclosures should mitigate nuisances from odors when residential uses might be impacted.
- d. If enclosed parking is provided for the entire mixed use development, separate areas/levels should be provided for residential and nonresidential uses with separate building entrances.
- e. Residential buildings should be arranged to create opportunities for common open space for the residential use. Common open space areas should be completely separated from other uses on the site and should provide a semi-private gathering place for residents.
- f. Common open space areas above the ground level should be landscaped using containerized plant materials that are provided with an automatic irrigation system and provisions for adequate drainage.

2. Building Design

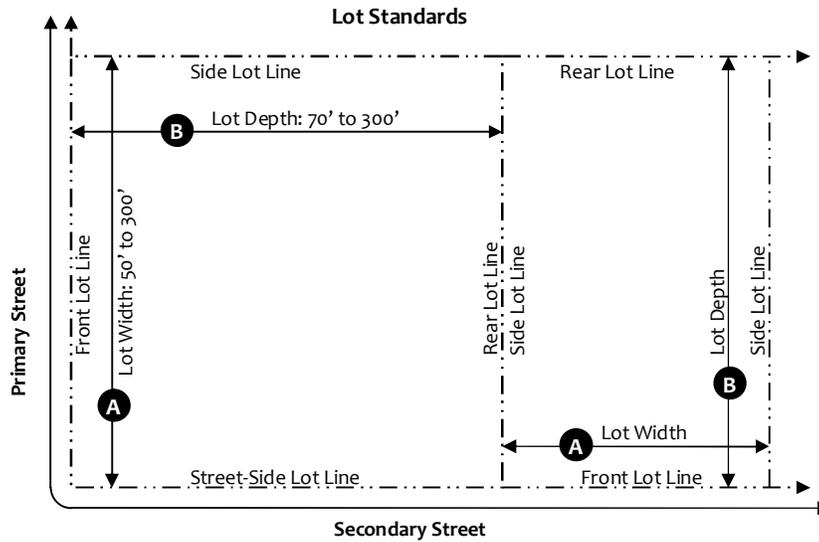
- a. The architectural style and use of materials should be consistent throughout the entire mixed use project. However, differences in materials and/or architectural details may occur to differentiate the residential portion of the project from the nonresidential portion of the project.
- b. Projects with three stories or less in height are strongly encouraged to incorporate full, pitched roofs. Buildings with heights greater than three stories should set back upper portions of the structure. [STAFF: Can convert to standards such as requiring a minimum setback of 5 feet for each additional story over three stories.
- d. When residential and nonresidential uses are provided in the same structure, separate pedestrian entrances should be provided for each use.
- e. All roof-mounted equipment should be completely screened from views above. Special consideration should be given to the location and screening of noise generating equipment (e.g., refrigeration units, air conditioning, exhaust fans, etc.).

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20.230.050 – Development Standards – General Mixed-Use (GLMX) Overlay Zone

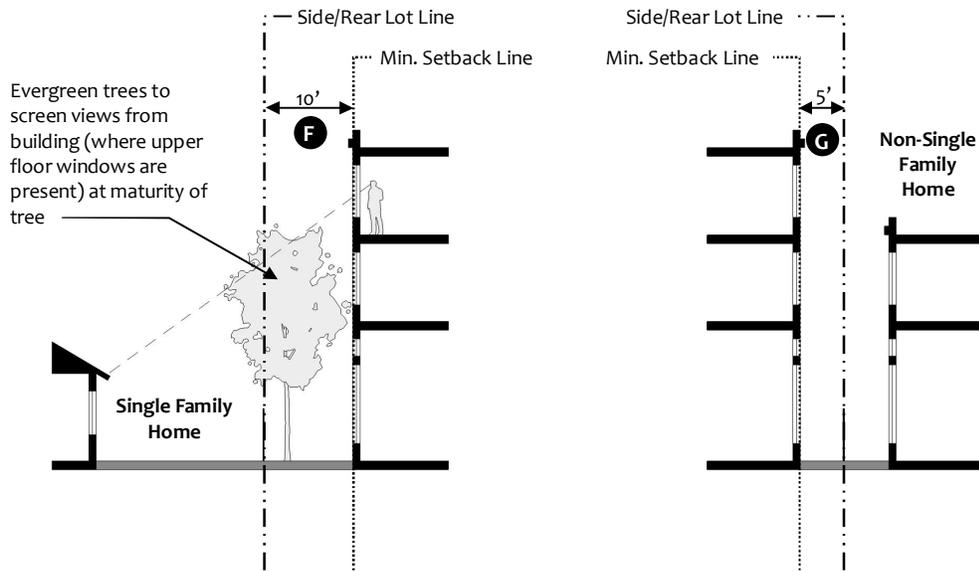
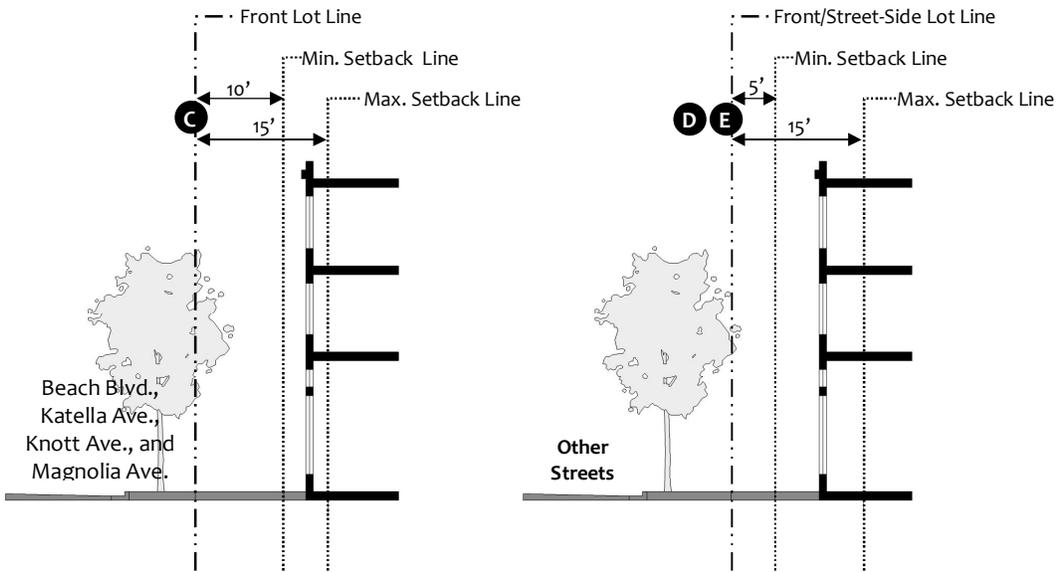
This Section provides standards that govern development on properties located in the General Mixed-Use Overlay Zone.

A. Lot Standards - GLMX	
A Lot Width	50' minimum and 300' maximum
B Lot Depth	70' minimum and 300' maximum



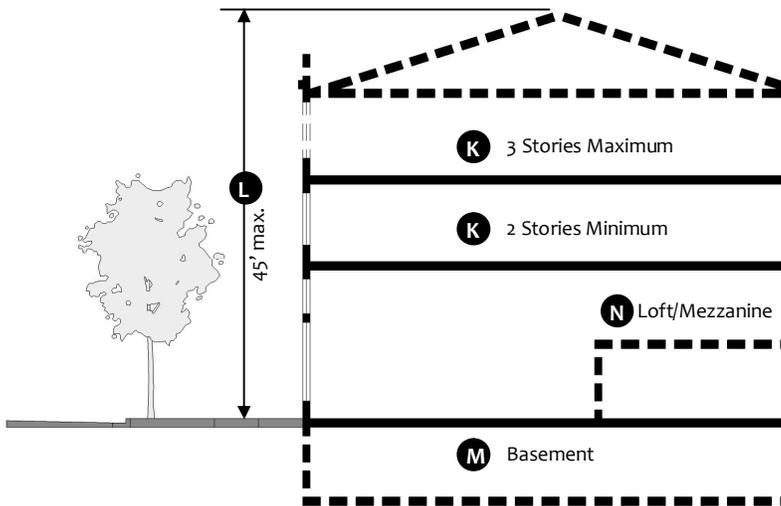
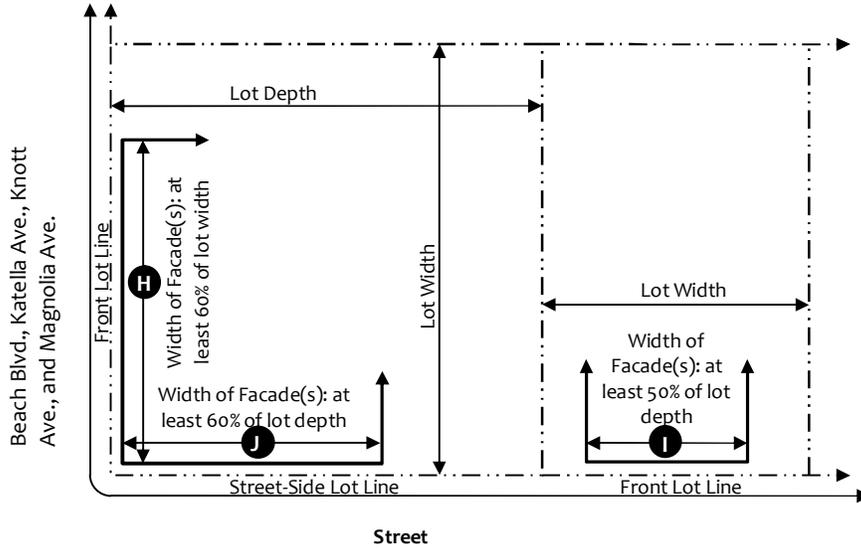
B. Building Placement Standards - GLMX	
C Front Setback (Along Beach Blvd., Katella Ave., Knott Ave., and Magnolia Ave.)	10' min. and 15' max.
D Front Setback (Elsewhere)	5' min. and 15' max.
E Street-Side Setback	5' min. to 15' max.
F Side and Rear Setback (If adjacent to a single family home)	10' min. Where upper floor windows are present, the setback shall be improved with evergreen trees to screen views from buildings to adjacent residential yards.
G Side and Rear Setback (Elsewhere)	5' min.
Allowed projections into setbacks are provided in Section 20.305.060 (Setback Regulations and Exceptions).	

Building Placement Standards - GLMX



C. Building Form Standards - GLMX		
H	Cumulative Width of Facades along Front Lot Line along Beach Blvd., Katella Ave., Knott Ave., and Magnolia Ave.	Minimum of 60% of lot width
I	Cumulative Width of Facades along Front Lot Line (Elsewhere)	Minimum of 50% of lot width
J	Cumulative Width of Facades along Street-Side Lot Line (corner lots only)	Minimum of 60% of lot depth
K	Number of Stories	2 stories minimum and 3 stories maximum
L	Maximum Height	45'
M	Basements	Allowed and shall not be counted as a story
N	Mezzanines/Lofts	Allowed and not counted as story if they are less than 1/3 of the unit's floor area.
D. Required Frontages on Front Facades - GLMX		
O	Along Beach Blvd., Katella Ave., Knott Ave., and Magnolia Ave.	Storefront or Live-Work/Office Front
P	Elsewhere	Storefront, Live-Work/Office Front, Residential Front
Standards for the above frontages are provided in Section 20.230.080 (Frontage Standards).		

Building Form Standards - GLMX



E. Parking Placement - GLMX		
R	Surface Parking	Allowed if located at least 20' from front and street-side lot lines.
S	Garage/Tuck-Under Parking	Allowed if located at least 20' from front lot lines and if garage door/opening for tuck-under space is not located on the front or street-side facade.
T	Underground/Podium Parking	Allowed beneath building footprints
U	Above-Ground Structured Parking	Allowed if the parking levels are screened from views by buildings that wrap the parking structure along street frontages.

Parking Placement Standards - GLMX

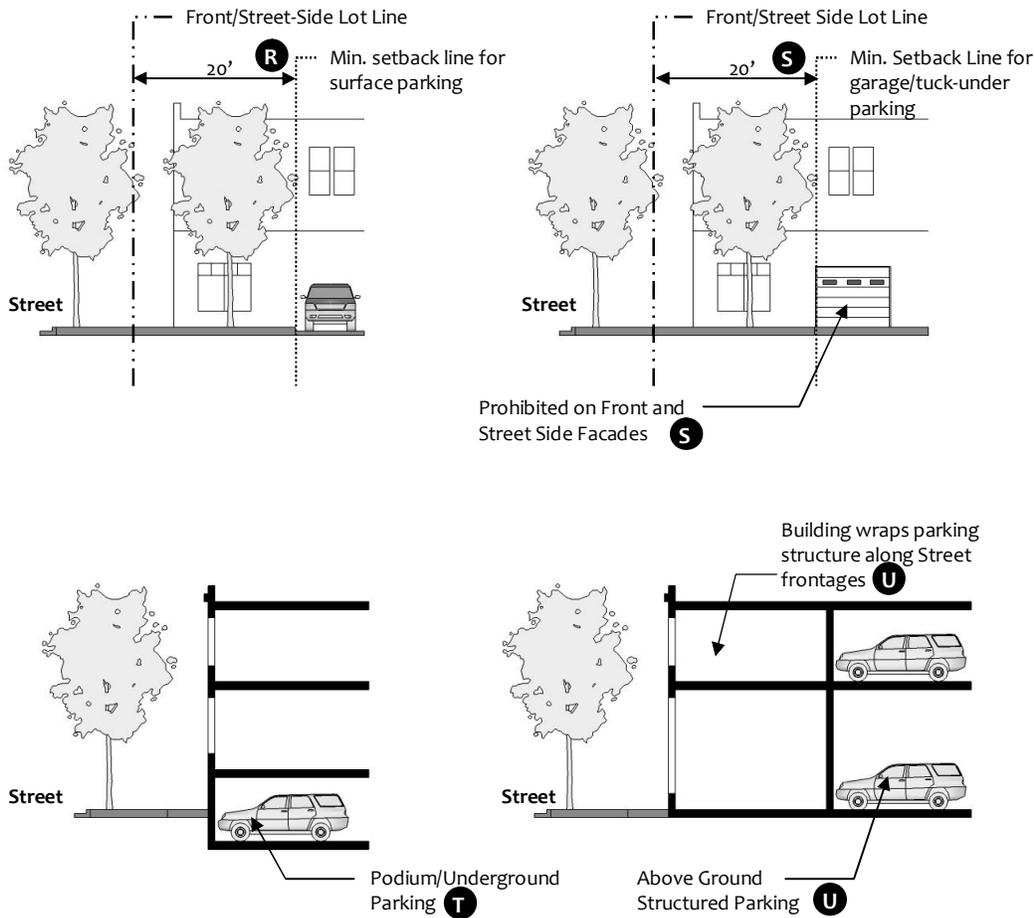
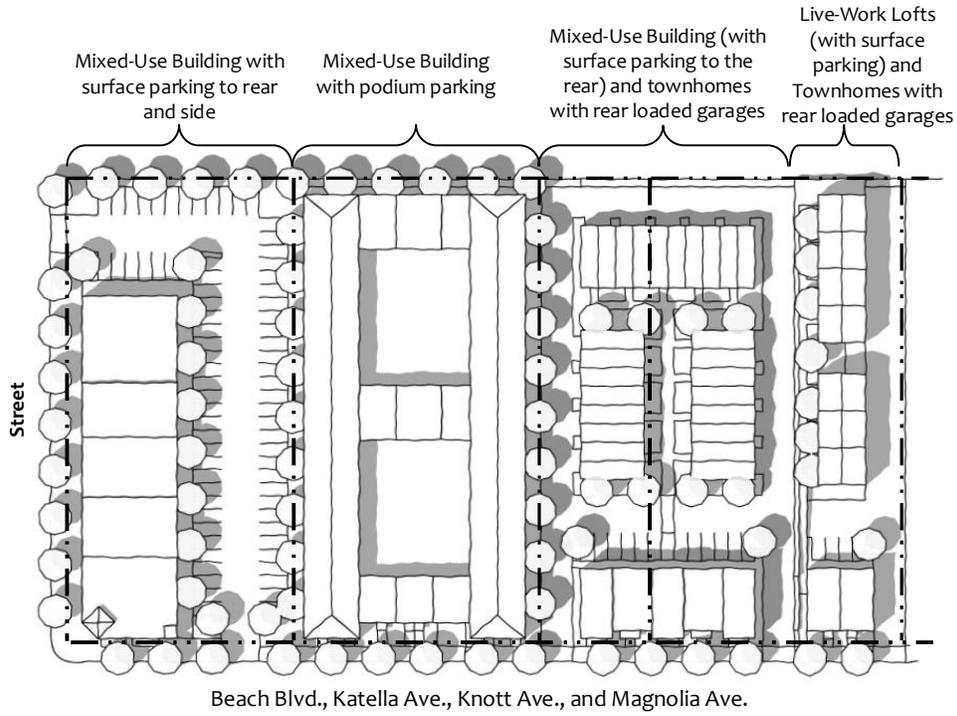


Figure 2-1
Example Development within GLMX Overlay Zone

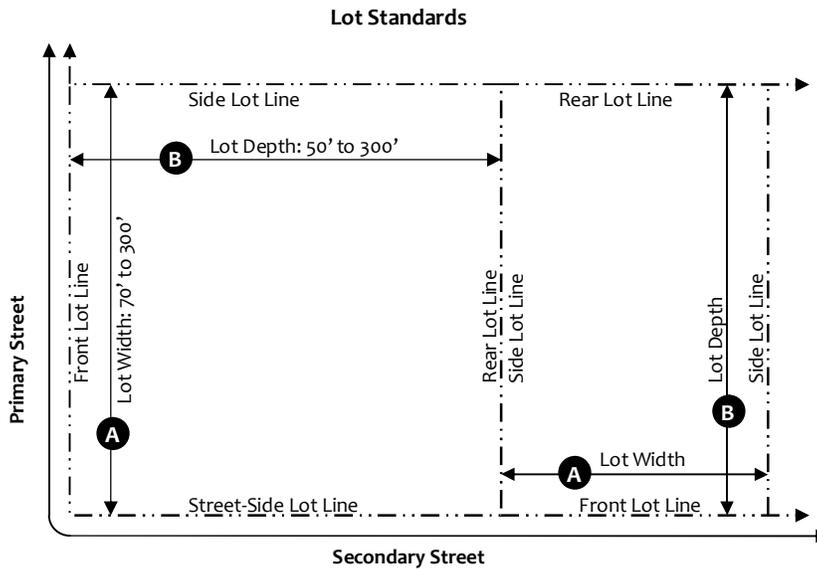


F. Building Uses – GLMX (Optional approach to use table in Section 20.230.030 above.)	
V	<p>Ground Floor Along Beach Blvd. Frontage</p> <hr/> <p>Ground Floor (Elsewhere)</p>
W	
X	Upper Floors

20.230.060 – Development Standards – North Gateway Mixed-Use (NGMX) Overlay Zone

This Section provides standards that govern development on properties located in the North Gateway Mixed-Use Overlay Zone.

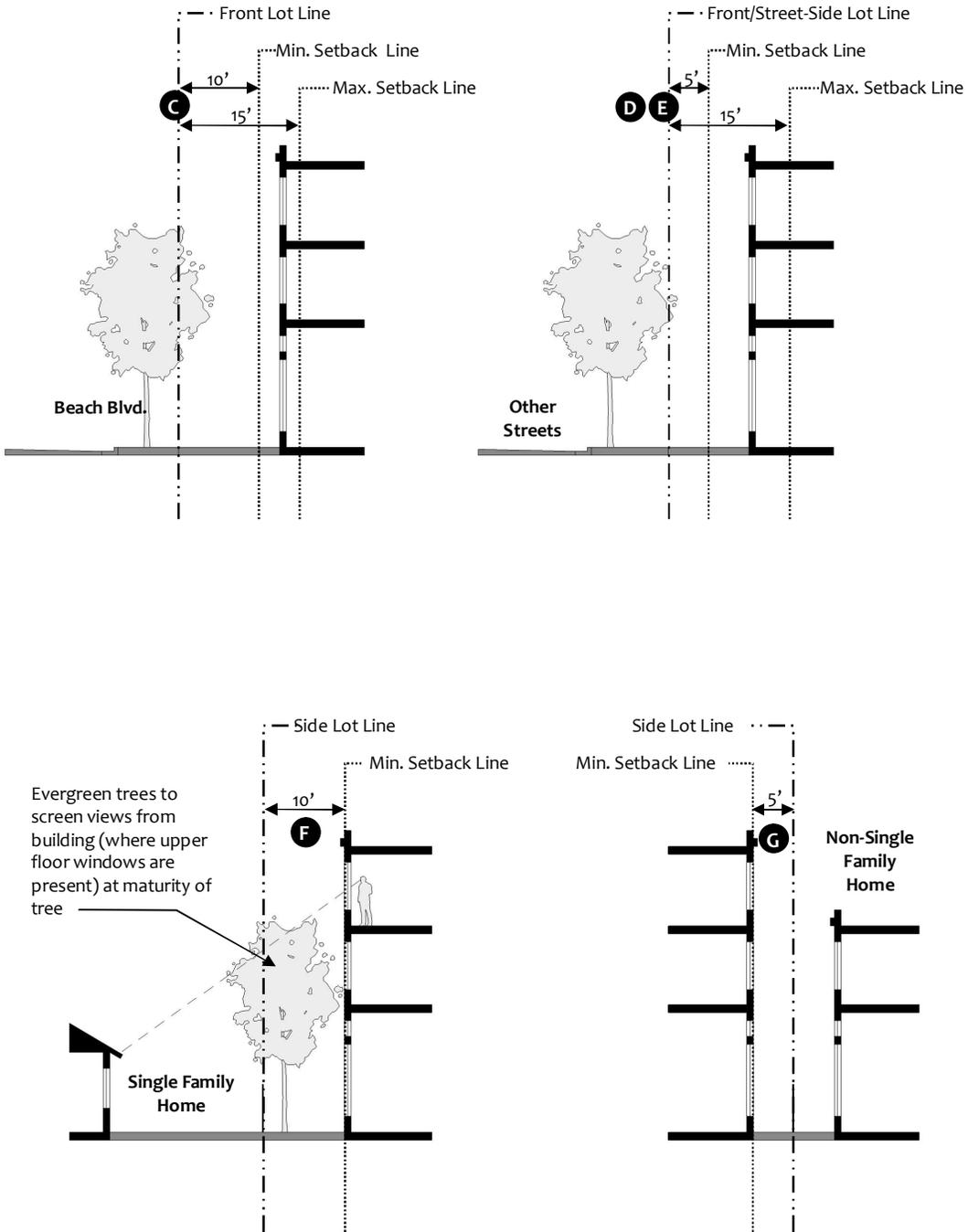
A. Lot Standards - NGMX	
A Lot Width	50' minimum and 300' maximum
B Lot Depth	70' minimum and 300' maximum



B. Building Placement Standards - NGMX	
C Front Setback (Along Beach Blvd.)	10' min. and 15' max.
D Front Setback (Elsewhere)	5' min. and 15' max.
E Street-Side Setback	5' min. to 15' max.
F Side and Rear Setback (If adjacent to a single family home)	10' min. Where upper floor windows are present, the setback shall be improved with evergreen trees to screen views from buildings to adjacent residential yards.
G Side and Rear Setback (Elsewhere)	5' min.

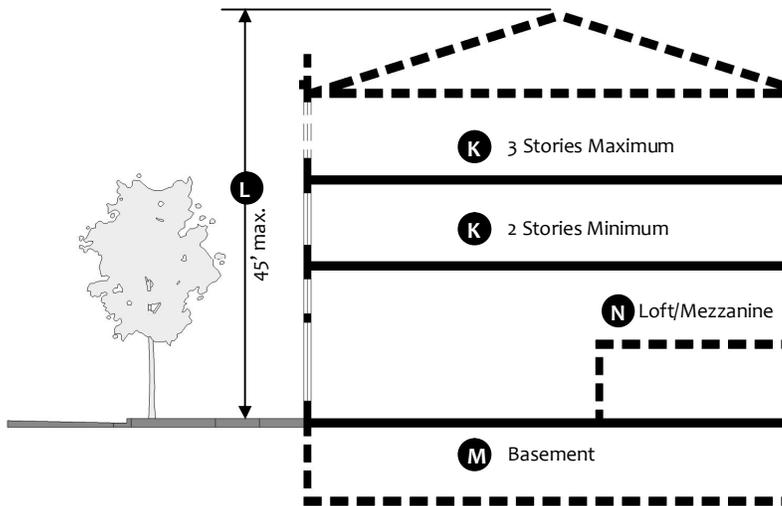
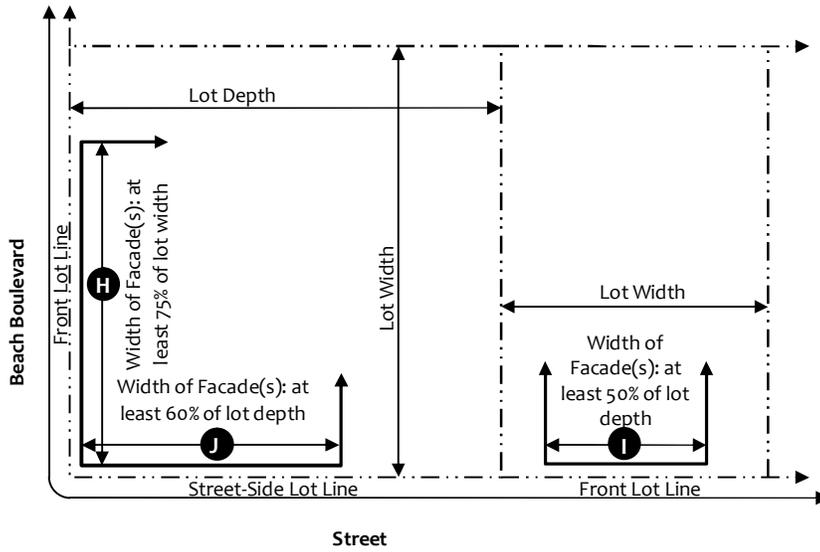
Allowed projections into setbacks are provided in Section 20.305.060 (Setback Regulations and Exceptions).

Building Placement Standards - NGMX



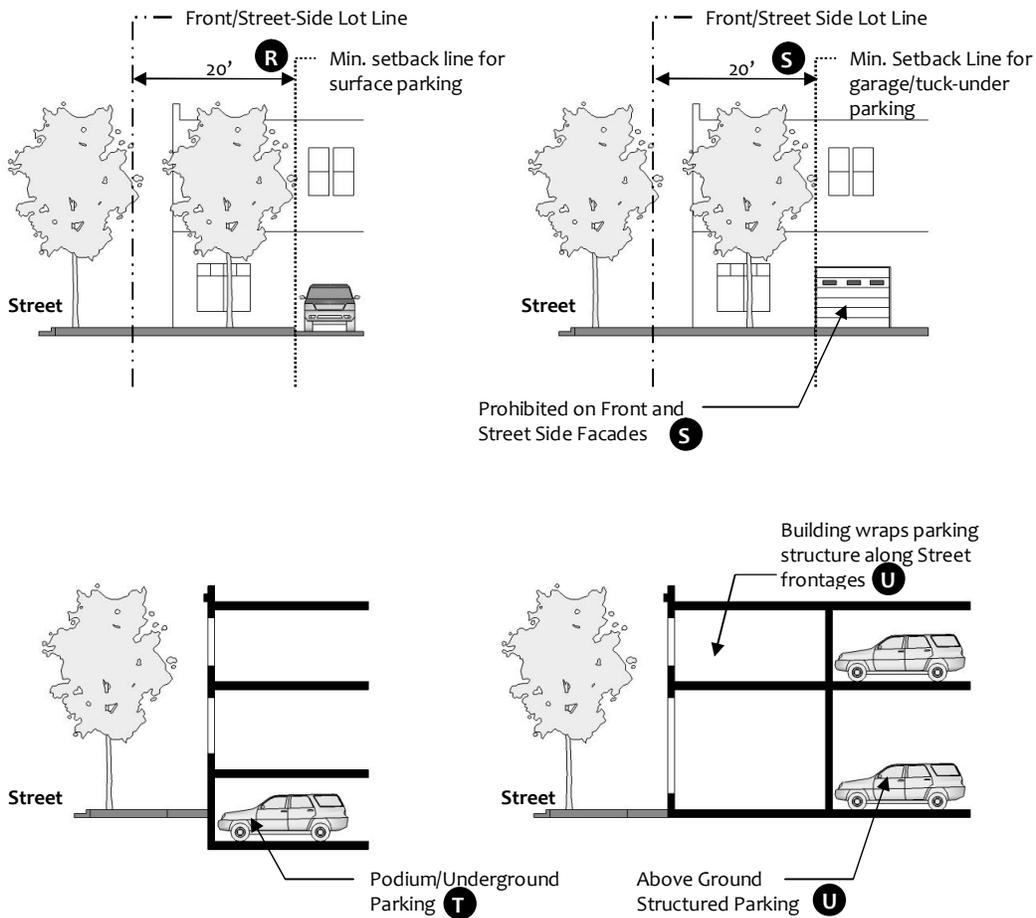
C. Building Form Standards - NGMX		
H	Cumulative Width of Facades along Front Lot Line along Beach Blvd.	Minimum of 75% of lot width
I	Cumulative Width of Facades along Front Lot Line (Elsewhere)	Minimum of 50% of lot width
J	Cumulative Width of Facades along Street-Side Lot Line (corner lots only)	Minimum of 60% of lot depth
K	Number of Stories	2 stories minimum and 3 stories maximum
L	Maximum Height	45'
M	Basements	Allowed and shall not be counted as a story
N	Mezzanines/Lofts	Allowed and not counted as story if they are less than 1/3 of the unit's floor area.
D. Required Frontages on Front Facades - NGMX		
O	Along Beach Boulevard	Storefront or Live-Work/Office Front
P	Along Fern Avenue	Residential Front
Q	Elsewhere	Storefront, Live-Work/Office Front, Residential Front
Standards for the above frontages are provided in Section 20.230.080 (Frontage Standards).		

Building Form Standards - NGMX



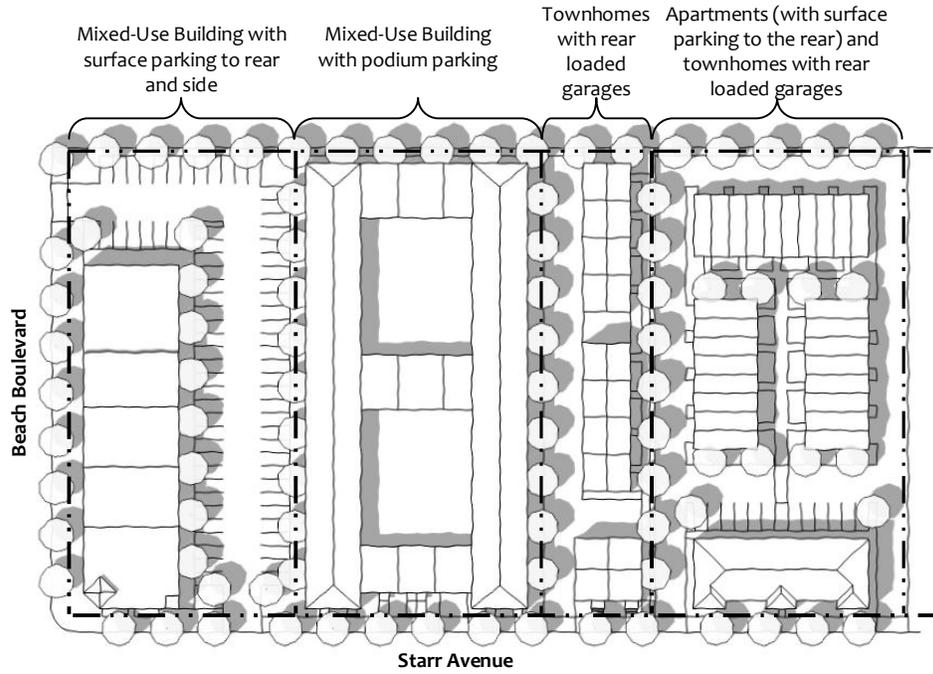
E. Parking Placement		
R	Surface Parking	Allowed if located at least 20' from front and street-side lot lines
S	Garage/Tuck-Under Parking	Allowed if located at least 20' from front lot lines and if garage door/opening for tuck-under space is not located on the front or street-side facade.
T	Underground/Podium Parking	Allowed beneath building footprints
U	Above Ground Structured Parking	Allowed if the parking levels are screened from views by buildings that wrap the parking structure along street frontages.

Parking Placement Standards - NGMX



F. Building Uses – NGMX (Optional approach to use table in Section 20.230.030 above.)	
V Ground Floor Along Beach Blvd. Frontage	Allowed: retail, office, dining, service, lodging,.... Allowable with Conditional Use Permit: Bar/tavern/night club, alcohol sales, meeting facility (public or private), religious institution, theater/cinema, any business operating between 9pm and 7am, firearm sales, ... Specifically Prohibited: Auto service/repair, gas station, residential, ...
W Ground Floor (Elsewhere)	Allowed: retail, office, dining, service, lodging,. Allowable with Conditional Use Permit: Bar/tavern/night club, alcohol sales, meeting facility (public or private), religious institution, theater/cinema, any business operating between 9pm and 7am, firearm sales, ... Specifically Prohibited: Auto service/repair, gas station, ...
X Upper Floors	Allowed: office, dining, service, lodging, Allowable with Conditional Use Permit: Bar/tavern/night club, alcohol sales, meeting facility (public or private), religious institution, theater/cinema, any business operating between 9pm and 7am, firearm sales, ... Specifically Prohibited: Auto service/repair, gas station, ...

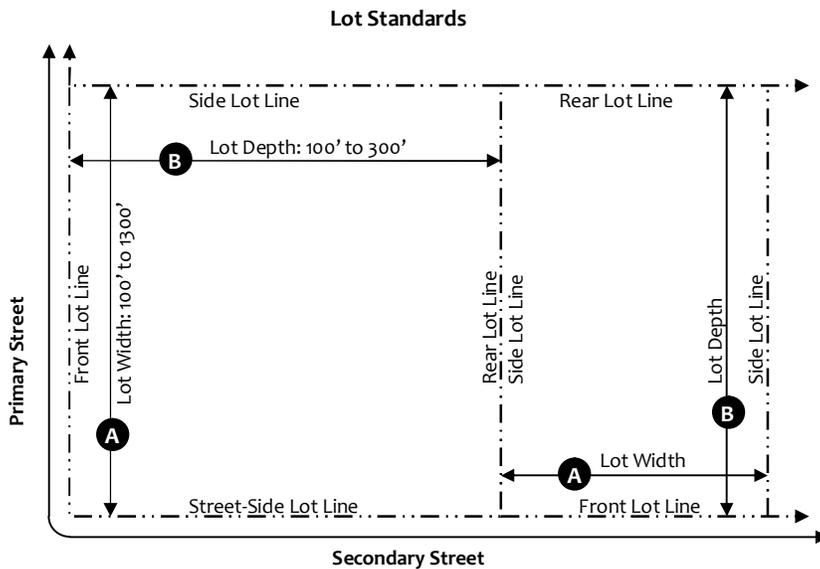
Figure 2-2
Example Development within NGMX Overlay Zone



20.230.070 – Development Standards – South Gateway Mixed-Use (SGMX) Overlay Zone

This Section provides standards that govern development on properties located in the South Gateway Mixed-Use Overlay Zone.

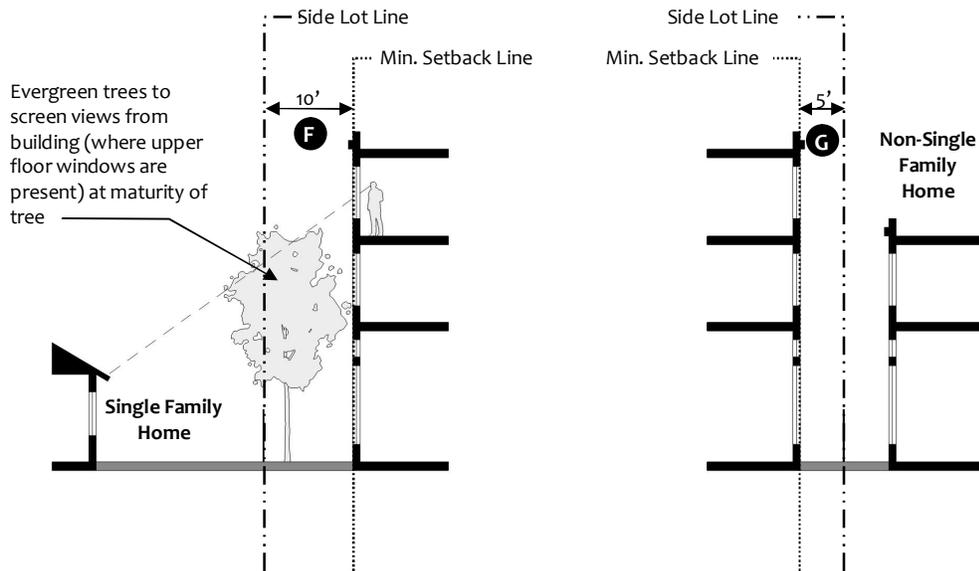
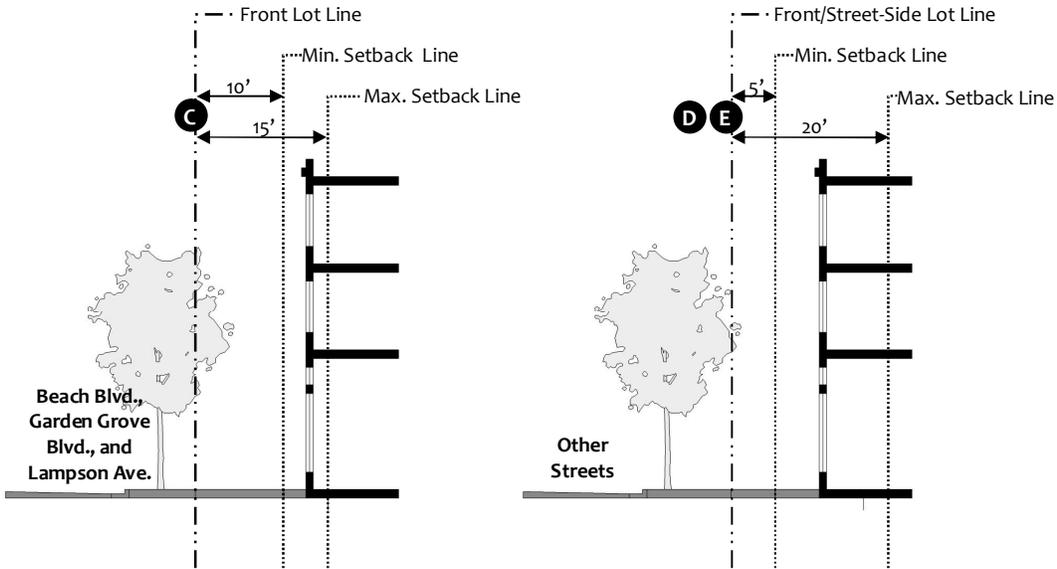
A. Lot Standards - SGMX	
A Lot Width	100' minimum and 300' maximum
B Lot Depth	100' minimum and 300' maximum



B. Building Placement Standards - SGMX	
C Front Setback (Along Beach Blvd., Garden Grove Blvd., and Lampson Ave.)	10' min. and 15' max.
D Front Setback (Elsewhere)	5' min. and 20' max.
E Street-Side Setback	5' min. and 20' max.
F Side and Rear Setback (If adjacent to a single family home)	10' min. Where upper floor windows are present, the setback shall be improved with evergreen trees to screen views from buildings to adjacent residential yards.
G Side and Rear Setback (Elsewhere)	5' min.

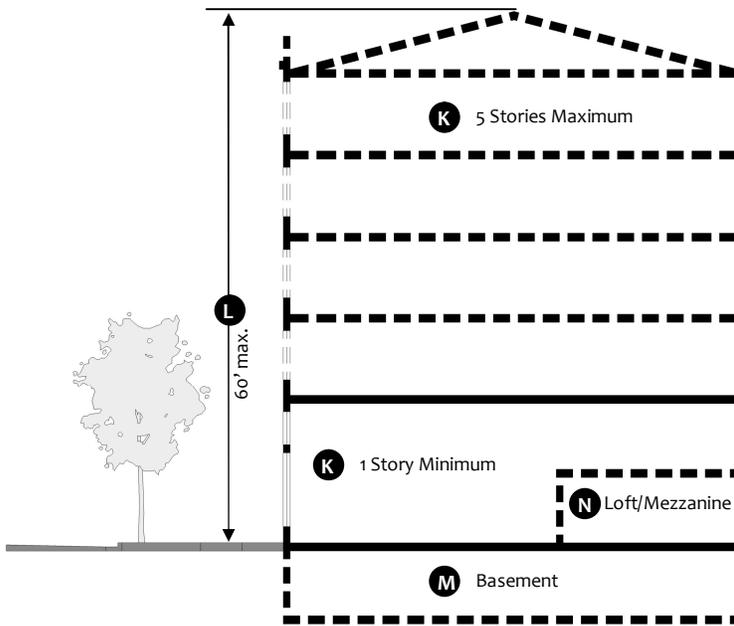
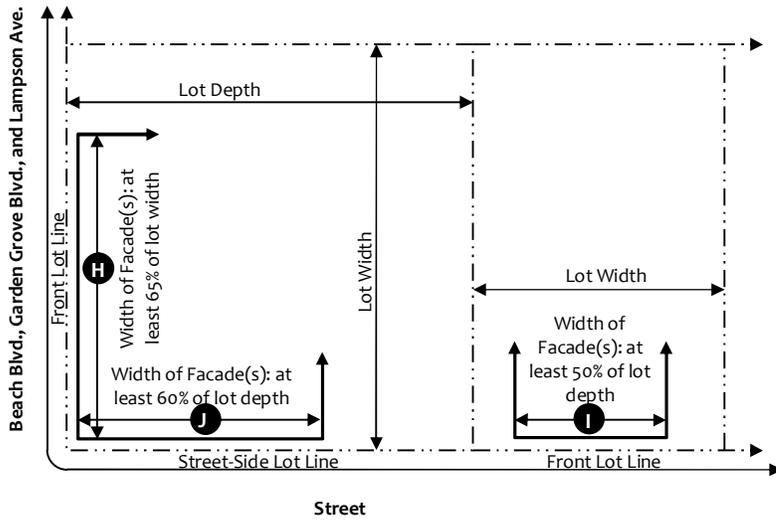
Allowed projections into setbacks are provided in Section 20.305.060 (Setback Regulations and Exceptions).

Building Placement Standards - SGMX



C. Building Form Standards - SGMX		
H	Cumulative Width of Facades along Front Lot Line along Beach Blvd.	Minimum of 65% of lot width
I	Cumulative Width of Facades along Front Lot Line (Elsewhere)	Minimum of 50% of lot width
J	Cumulative Width of Facades along Street-Side Lot Line (corner lots only)	Minimum of 60% of lot depth
K	Number of Stories	1 story minimum and 5 stories maximum
L	Maximum Height	60'
M	Basements	Allowed and shall not be counted as a story
N	Mezzanines/Lofts	Allowed and not counted as story if they are less than 1/3 of the unit's floor area.
D. Required Frontages on Front Facades - SGMX		
O	Along Beach Blvd., Garden Grove Blvd., and Lampson Ave.	Storefront or Live-Work/Office Front
P	Elsewhere	Storefront, Live-Work/Office Front, Residential Front
Standards for the above frontages are provided in Section 20.230.080 (Frontage Standards).		

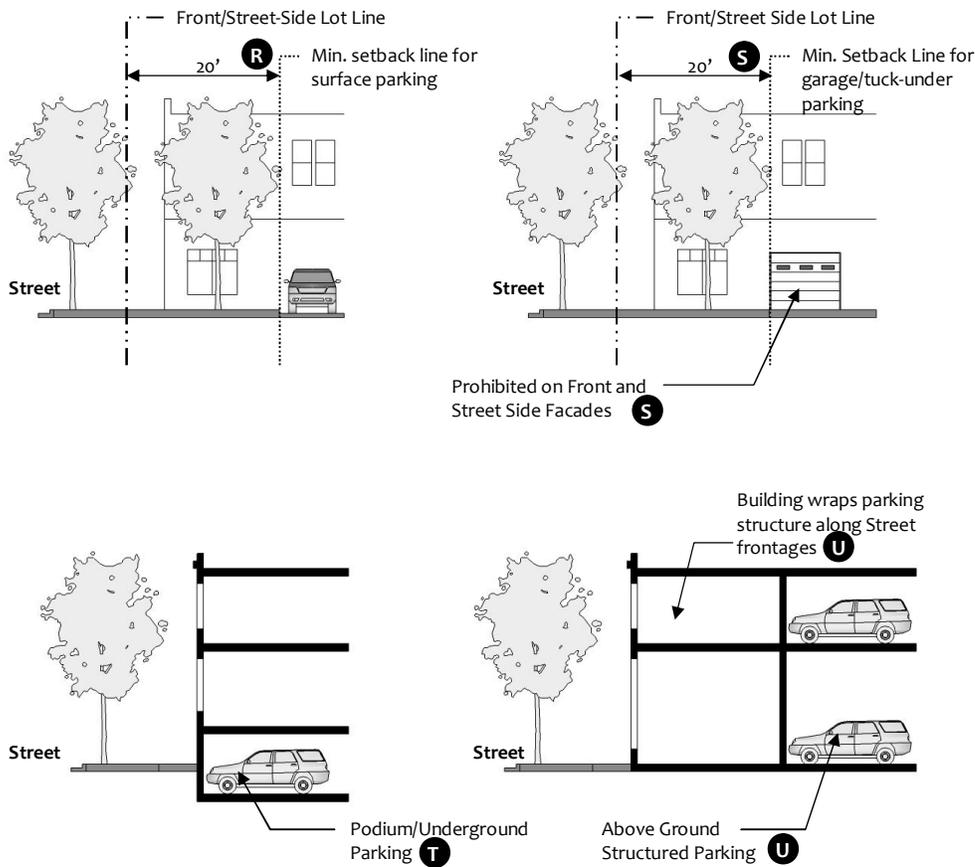
Building Form Standards - SGMX



E. Parking Placement - SGMX

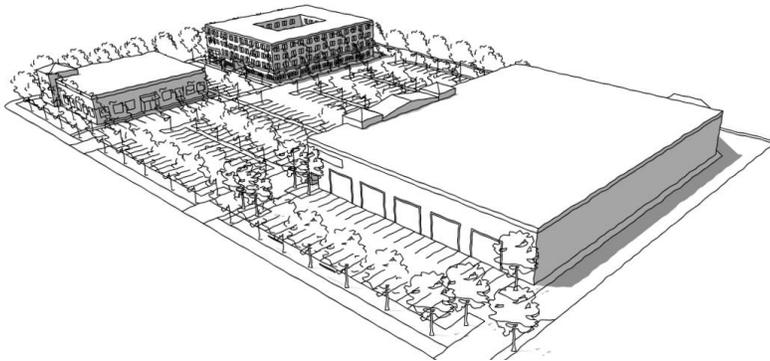
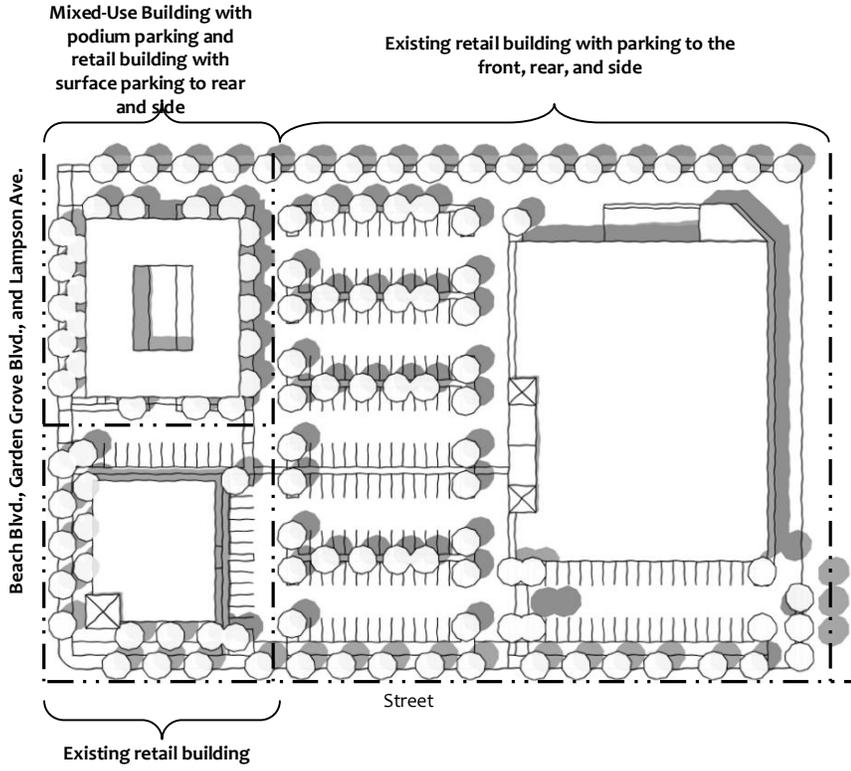
R	Surface Parking	Allowed if located at least 20' from front and street-side lot lines
S	Garage/Tuck-Under Parking	Allowed if located at least 20' from front lot lines and if garage door/opening for tuck-under space is not located on the front or street-side facade.
T	Underground/Podium Parking	Allowed beneath building footprints
U	Above Ground Structured Parking	Allowed if the parking levels are screened from views by buildings that wrap the parking structure along street frontages.

Parking Placement Standards



F. Building Uses – SGMX (Optional approach to use table in Section 20.230.030 above.)	
V Ground Floor Along Beach Blvd., Garden Grove Blvd., and Lampson Ave. Frontage	Allowed: retail, office, dining, service, lodging,.... Allowable with Conditional Use Permit: Bar/tavern/night club, alcohol sales, meeting facility (public or private), religious institution, theater/cinema, any business operating between 9pm and 7am, firearm sales, ... Specifically Prohibited: Auto service/repair, gas station, residential, ...
W Ground Floor (Elsewhere)	Allowed: retail, office, dining, service, lodging,. Allowable with Conditional Use Permit: Bar/tavern/night club, alcohol sales, meeting facility (public or private), religious institution, theater/cinema, any business operating between 9pm and 7am, firearm sales, ... Specifically Prohibited: Auto service/repair, gas station, ...
X Upper Floors	Allowed: office, dining, service, lodging, Allowable with Conditional Use Permit: Bar/tavern/night club, alcohol sales, meeting facility (public or private), religious institution, theater/cinema, any business operating between 9pm and 7am, firearm sales, ... Specifically Prohibited: Auto service/repair, gas station, ...

Figure 2-3
Example Development within the SGMX Overlay Zone



20.230.080 – Frontage Standards

This Section provides frontage standards for buildings in the General Mixed-Use (GLMX) Overlay Zone, North Gateway Mixed-Use (NGMX) Overlay Zone, and South Gateway Mixed-Use (SGMX) Overlay Zone. Subsections 20.230.050.D, 20.230.060.D, and 20.230.070.D (Required Frontages on Front Facades) determines where the above frontages may be located.

A. Types of frontages

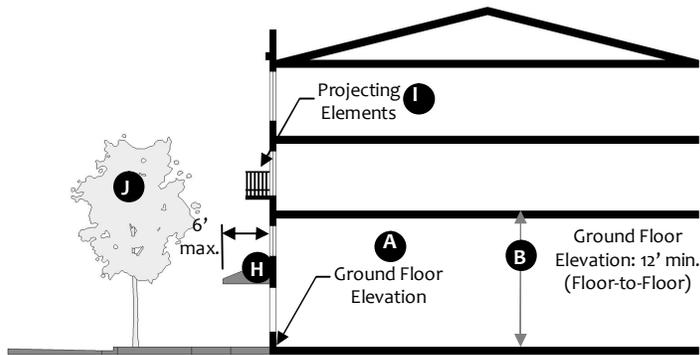
1. **Live-Work/Office Fronts:** A frontage that reinforces both residential and work activities that can occur in the building. The elevation of the ground floor is located at or near the grade of sidewalk to provide direct public access to the building. Entrances and windows are provided on the front of the facade to provide eyes on the street and direct sidewalk access to commercial and office uses. The front setback (if provided) may be improved with landscaping or as an extension of the public sidewalk to create a more pedestrian friendly environment.
2. **Residential Fronts:** A frontage that reinforces the residential character and use of the building. The elevation of the ground floor is elevated above the grade of the lot to provide privacy for residences by preventing direct views into the home from the sidewalk. Entrances and windows are provided on the front of the facade to provide eyes on the street and direct sidewalk access to the building. Stoops are allowed to project into the front setback to enhance entrances. The front setback is primarily improved with landscaping.
3. **Storefronts:** A frontage that reinforces the commercial character and use of the ground floor of the building. The elevation of the ground floor is located at or near the grade of sidewalk to provide direct public access into the building. Large storefront display windows are provided on the front of the facade to encourage visual access to merchandise displays and to encourage window shopping. Awnings or marquees are provided over storefront windows and entrances. The front setback (if provided) is primarily improved as an extension of the public sidewalk to create a more pedestrian friendly environment.

B. Live-Work/Office Frontage Standards		
A	Elevation of Ground Floor	The ground floor elevation shall be located near the elevation of the sidewalk to minimize the need for external steps and external ADA ramps at public entrances.
	Minimum Ceiling Height	12' minimum (floor-to-floor height)
B C	Ground Floor Unit Entrances	All ground floor tenant spaces that have street frontage shall have entrances on a facade fronting a street. All other ground floor uses may have a common lobby entrance along the front facade or private entrances along other facades.
D	Upper Floor Unit Entrances	Entrances to upper floor units may be provided through a common lobby entrance and/or by a common entrance along a facade fronting a street.
E	Recessed Entrances	Entrances may be recessed into the facade.
F	Ground Floor Windows	At least 40% of the surface area of the ground floor facade ¹ shall be occupied by windows ² .
G	Upper Floor Windows	At least 25% of the surface area of each upper floor facade ¹ shall be occupied by windows ² .
H	Awnings and Marquees	Awnings or marquees may be provided over storefront windows and entrances. Awning and marquees may project up to 6' from the facade and extend over the sidewalk provided that at least 8' of vertical clearance is provided.
I	Projecting Elements (Balconies, Roof Overhangs, Shade Structures, and Bay Windows)	Projecting Elements on upper floors may project 3' from the facade and project into the setback.
J	Sidewalk and Setback Treatment	The public sidewalk shall be improved with street trees with an average spacing of 30' on-center and pedestrian-scaled street lights (no taller than 14'). If the front facade is setback from the public sidewalk, the setback shall be landscaped and/or improved as an extension of the public sidewalk.

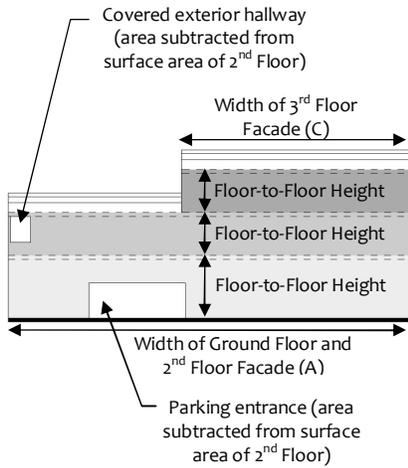
Notes:

- As measured by multiplying the width of the facade by the floor-to-floor height. Opening in the facade (such as entrances to parking facilities or covered outdoor hallways/entrances) shall be subtracted from the surface area calculation.
- All parts of the window (e.g. head, jamb, frame, sash, sill, muntin bars, and panes) that are visible on the elevation drawing shall be included as "window" in the calculation. Portions of the window that are not visible on the elevation drawing (such as a window that is blocked by a solid balcony wall) shall not be included in the calculation).

Live-Work/Office Frontage Standards



Note to Staff: floor-to-floor measurements were used because this is a constant, while ceiling heights may be changed easily by tenants



G Windows occupy at least 25% of the 2nd Floor Surface Area and 25% of the 3rd floor surface area



F Windows occupy at least 40% of the Ground Floor Surface Area



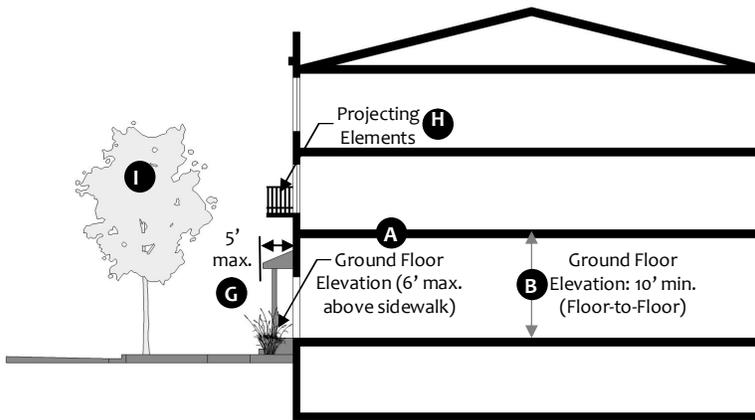
Examples of Live-Work Frontages

C. Residential Frontage Standards		
A	Elevation of Ground Floor	The ground floor elevation shall be located within 6' of the ground surface of the adjacent sidewalk or walkway.
B	Minimum Ceiling Height	10' minimum (floor-to-floor height)
C	Ground Floor Unit Entrances	Entrances to ground floor units that have street frontage may be provided through a common lobby entrance and/or by private entrances from the adjacent sidewalk.
D	Upper Floor Unit Entrances	Entrances to upper floor units may be provided through a common lobby entrance and/or by a common entrance along a facade fronting a street.
E	Recessed Entrances	Entrances may be recessed into the facade.
F	Ground and Upper Floor Windows	At least 25% of the surface area of the ground and upper floor facade ¹ shall be occupied by windows ² .
G	Stoops and Front Porches	Stoops and front porches may be provided in front of building and unit entrances. Stoops and front porches may project up to 5' from the facade and project into the setback.
H	Projecting Elements (Balconies, Roof Overhangs, Shade Structures, and Bay Windows)	Projecting Elements on upper floors may project 3' from the facade and project into the setback.
I	Sidewalk and Setback Treatment	The public sidewalk shall be improved with street trees with an average spacing of 30' on-center and pedestrian-scaled street lights (no taller than 14'). If the front facade is setback from the public sidewalk, the setback shall be landscaped (excluding stoops/front porches and paved paths to building entrances).

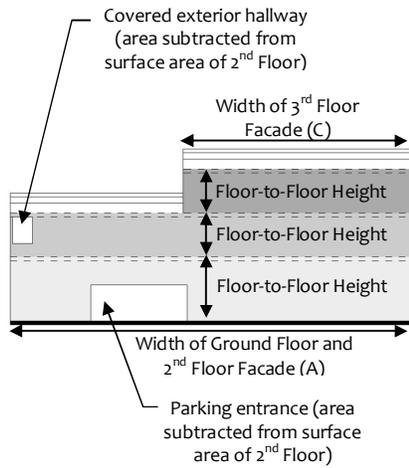
Notes:

1. As measured by multiplying the width of the facade by the floor-to-floor height. Opening in the facade (such as entrances to parking facilities or covered outdoor hallways/entrances) shall be subtracted from the surface area calculation.
2. All parts of the window (e.g. head, jamb, frame, sash, sill, muntin bars, and panes) that are visible on the elevation drawing shall be included as "window" in the calculation. Portions of the window that are not visible on the elevation drawing (such as a window that is blocked by a solid balcony wall) shall not be included in the calculation.

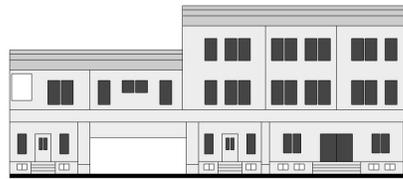
Residential Frontage Standards



Note to Staff: floor-to-floor measurements were used because this is a constant, while ceiling heights may be changed easily by tenants



F Windows occupy at least 25% of the 2nd Floor Surface Area and 25% of the 3rd floor surface area



F Windows occupy at least 25% of the Ground Floor Surface Area



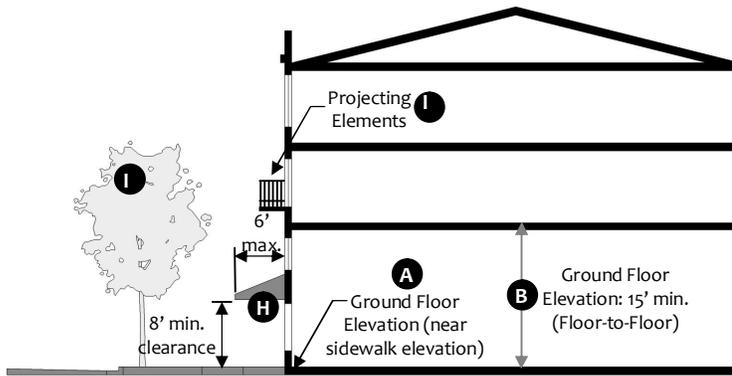
Examples of Residential Frontages

D. Storefront Standards		
A	Elevation of Ground Floor	The ground floor elevation shall be located near the elevation of the sidewalk to minimize the need for external steps and external ADA ramps at public entrances.
B	Minimum Ceiling Height	15' minimum (floor-to-floor height)
C	Storefront Entrances	All ground floor tenant spaces that have street frontage shall have storefront entrances on a facade fronting a street.
D	Lobby Entrances	Lobby entrances to upper floor uses shall be located on a facade fronting a street.
E	Recessed Entrances	Storefront and lobby entrances may be recessed into the facade.
F	Ground Floor Windows	At least 50% of the surface area of the ground floor facade ¹ shall be occupied by windows ² .
G	Upper Floor Windows	At least 25% of the surface area of each upper floor facade ¹ shall be occupied by windows ² .
H	Awnings and Marquees	Awnings or marquees are required over storefront windows and entrances. Awning and marquees may project up to 6' from the facade and extend over the sidewalk provided that at least 8' of vertical clearance is provided.
I	Projecting Elements (Balconies, Shade Structures, and Bay Windows)	Projecting Elements on upper floors may project 3' from the facade and project into the setback.
J	Sidewalk and Setback Treatment	The public sidewalk shall be improved with street trees with an average spacing of 30' on-center and pedestrian-scaled street lights (no taller than 14'). If the front facade is setback from the public sidewalk, the setback shall be improved as an extension of the public sidewalk.

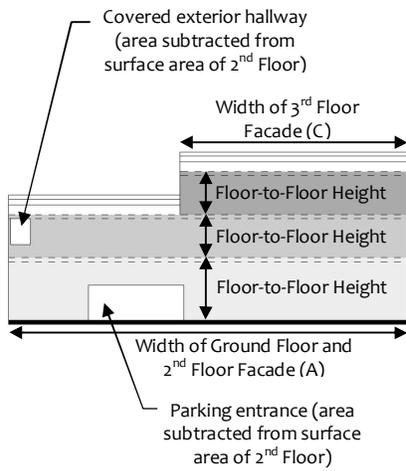
Notes:

1. As measured by multiplying the width of the facade by the floor-to-floor height. Opening in the facade (such as entrances to parking facilities or covered outdoor hallways/entrances) shall be subtracted from the surface area calculation.
2. All parts of the window (e.g. head, jamb, frame, sash, sill, muntin bars, and panes) that are visible on the elevation drawing shall be included as “window” in the calculation. Portions of the window that are not visible on the elevation drawing (such as a window that is blocked by a solid balcony wall) shall not be included in the calculation).

Storefront Standards



Note to Staff: floor-to-floor measurements were used because this is a constant, while ceiling heights may be changed easily by tenants



G Windows occupy at least 25% of the 2nd Floor Surface Area and 25% of the 3rd floor surface area



F Windows occupy at least 50% of the Ground Floor Surface Area



Examples of Storefronts

20.230.090 – Driveway Standards

This Section will include standards for the design (width, pavement, fire access requirements, etc.) and placement (distance from intersections, line of sight standards, etc.) of driveways.

A. Driveway Standards		
A	Access	Driveway access to a lot may be provided from a street or an adjacent property (if a shared access easement is provided). Driveways are encouraged to connect to other driveways to increase accessibility.
B	Location	Driveway access points are prohibited within 25' of street intersections.
C	Width	One-way driveways shall be 10' to 12' in width and two-way driveways shall be 20' to 24' in width.

