



City of Moreno Valley Handout for PRE-APPROVED ACCESSORY DWELLING UNIT

ABOUT THE PRE-APPROVED PLANS

The pre-approved plans offer seven detached ADU floor plan options, each offered in two architectural styles. These plans have already been reviewed and approved by the Building and Safety Department, resulting in a streamlined approval process for applications that use these plans. These plans are exclusively for the construction of ADUs within Moreno Valley city limits.

Permit applications using the pre-approved plans are subject to the City's standard permitting fees, as provided in the current Fee Schedule. To use the pre-approved ADU plans, complete the following steps to submit a building permit application, including submittal of a site plan and other documents listed under the Submittal Requirements section on the back of this sheet.

HOW TO USE THEM

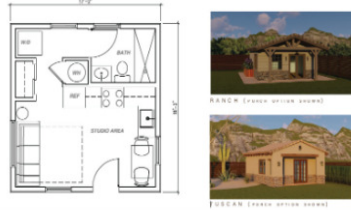
STEP ONE: Choose the appropriate plan (Plan 1, Plan 2, Plan 3, Plan 4, Plan 5, Plan 6 & Plan 7).

- Consider which floor plan would best meet your needs and fit the parameters of your property. Make your selection from the approved plans on the City's website: <https://moval.org/adu/index.html>
- Choose the architectural style (Craftsman, Spanish, Ranch or Tuscan)
- Select Porch Option
- We recommend the use of the architectural style that most resembles the style of the primary dwelling unit.

Plan 1: Studio Plan A



Plan 2: Studio Plan B



Plan 3: 1 Bedroom A



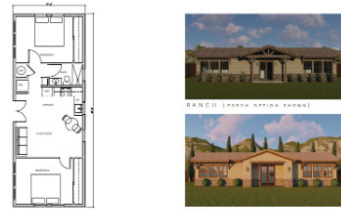
Plan 4: 1 Bedroom B



Plan 5: 2 Bedroom A



Plan 6: 2 Bedroom B



Plan 7: 3 Bedroom



STEP TWO: Prepare and submit an Address Request online through Simplicity: <https://aca-prod.accela.com/MOVAL/Default.aspx>

Submit your application and in the project description you will state, "ADDRESS REQUEST for PRE-APPROVED ADU [insert the address of the existing residence]. Include within the description of the address request the Plan Type #, Architectural Style & Porch Option of the detached ADU selected.

- Provide a plot plan, dimensioned and drawn to scale.
- Plot Plan must detail the (**placement of the ADU on the property**).

ADDRESS REQUEST SUBMITTED TO THE CITY VIA SIMPLICITY

CITY RESPONSE: The city will process the initial application and assign a New Address for the ADU and provide a response with the newly created application record number for the ADU application.

STEP THREE: ONCE ADDRESS IS CREATED AND ADDITIONAL INFORMATION IS REQUIRED FROM THE APPLICANT:

Upon receipt of the new address and New City Record #, Prepare your revised site plan with the New Address Assigned, required Checklist & applicable Title Sheet.

NOTE: Please continue to use the new record number provided for the remainder of the application and permitting process.

- Prepare a site plan, dimensioned and drawn to scale, including setbacks and include all items listed in the Site Plan Checklist.
- Complete the applicable title sheet applies to the plan selected. (Provided with the upload instructions.)
- All ADUs must adhere to the development standards, including setback and lot coverage requirements, established in the Zoning Code, as well as the development standards provided for the underlying zoning district.
- Submit all required items listed in the Pre-Approved ADU Submittal Checklist.

OUTSIDE AGENCIES (CONTACT INFORMATION):

1. A **1ST RELEASE** will be required for Water/Sewer, contact your applicable agency.
2. **If new meters** are required for Electricity, Gas or Water/Sewer, please contact outside agencies as soon as possible.

WATER & SEWER

- **Eastern Municipal Water District (EMWD)** (951) 928-3777 xt 2081 <https://www.emwd.org/>

SEWER, if not serviced by EMWD

- **Edgemont Community Services District** - (951) 784-2632 <https://edgemontcsd.specialdistrict.org/>

WATER, if not serviced by EMWD

- **Box Springs Mutual Water District** - (951) 653-6419

ELECTRIC * **If Solar, a separate permit will be required.**

- **Southern California Edison (SCE)** – (800) 655-4555
- **Moreno Valley Utility** – (951) 413-3500

GAS

- **SoCal Gas (SoCal)** (877) 238-0092

IF PROPERTY IS ON SEPTIC: If the property is on septic, an approved site plan from the Riverside County Department of Environmental Health will be required.

- **Riverside County Office Bldg. Department of Environmental Health** - (*Office serving Moreno Valley for septic systems*)
3880 Lemon St., 2nd Floor Riverside, CA 92501 - (951) 955-8980 landuse@rivco.org

COMPLETE THE FIRE FLOW LETTER: Fire sprinklers are required to be installed for your ADU if:

- Your existing home has fire sprinklers.
- Your proposed ADU is more than 150' from the street measured through an approved route.

NOTE: A separate fire sprinkler permit will need to be submitted to Fire Prevention.

Any questions, please contact fireprevention@moval.org OR call (951) 413-3370.

SUBMITTAL REQUIREMENTS / REQUIRED UPLOADS

Uploads required as [PLANS](#)

1. **Site Plan:** Including the following:

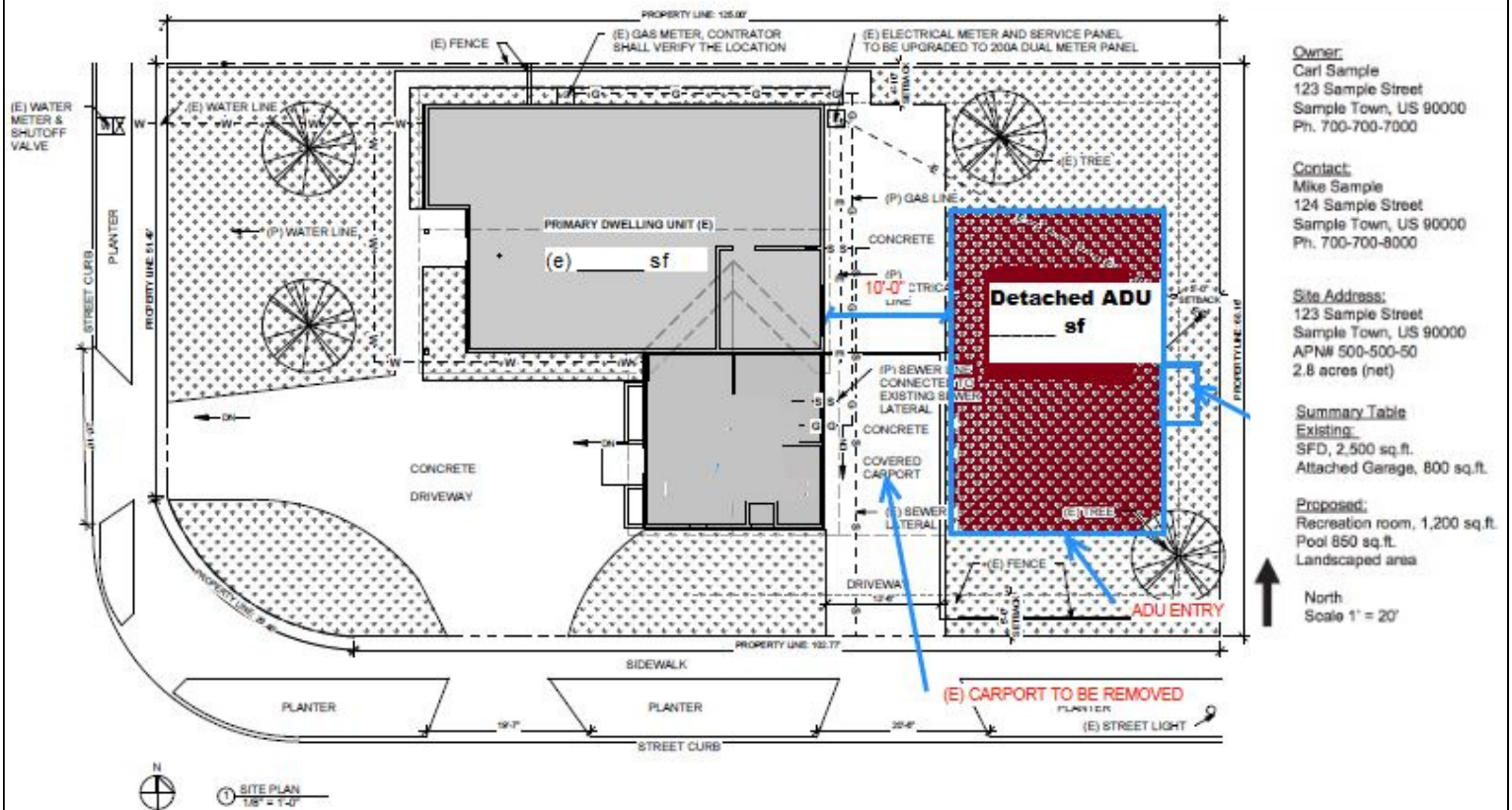
- ☐ **Footprint of all existing and proposed buildings:** Plot the proposed ADU building footprint along with any other existing buildings on-site. This includes all structures, porches & gazebos. If an optional covered patio is selected for the ADU, please plot that as well.
- ☐ **Area of existing building:** Indicate the square footage of the existing house.
- ☐ **Footprint of proposed ADU:** Refer to legend on plans for footprint at 10'=1" scale.
- ☐ **Drawing scale:** Site plan should be drawn to a measurable scale.
- ☐ **Property Lines:** Show outline of property using dashed line in legend. Indicate the bearing and distance of the property line.
- ☐ **Label landscape and hardscape areas:** Label landscaped areas, as well as driveways, pathways, and any other hardscape.
- ☐ **Setbacks:** Dimension the distance between buildings and property lines, as well as building to other structures. Setback to side and rear property line shall be a minimum of 4'-0".
- ☐ **Easements:** Refer to legend. Must include all applicable easements. The proposed structure shall comply with easement requirements.
- ☐ **Label streets and sidewalks.**
- ☐ **Dimension building separation:** Dimension the distance between the proposed ADU and any existing structures.
- ☐ **Lot coverage calculation:** Total footprint area for structures on-site/lot area.
- ☐ **Swimming pools:** All existing swimming pools shall be shown on the site plan and shall have 5' minimum setback to the new ADU structures.
- ☐ **Porches:** There shall be no more than 30 inches measured vertically to the floor or grade below (including floors, stairs, ramps, and landings) anywhere measured less than 36 inches horizontally to the edge of the porch/slab/surface of the rail. Insect screening shall not be considered as a guard.
- ☐ **Location of existing utilities:** Utilities, poles, sewer, drains, electrical, gas meters and lines and any photovoltaic.
- ☐ **Location of proposed utilities:** Proposed utilities shall conform to the requirements of the local utility providers. Sanitary sewer from ADU to existing sewer. The sewer line to the proposed ADU shall be connected to the main lateral at the property line or behind the sidewalk. Lateral point of connection including required cleanouts, water line to ADU, electric to ADU including any new meters or subpanels. Plans must show the size and location of new water and sewer lines.
- ☐ **Site Drainage**
- ☐ **Public Right of Way** – include any modification/alterations.

Uploads required as [OTHER ATTACHMENTS](#)

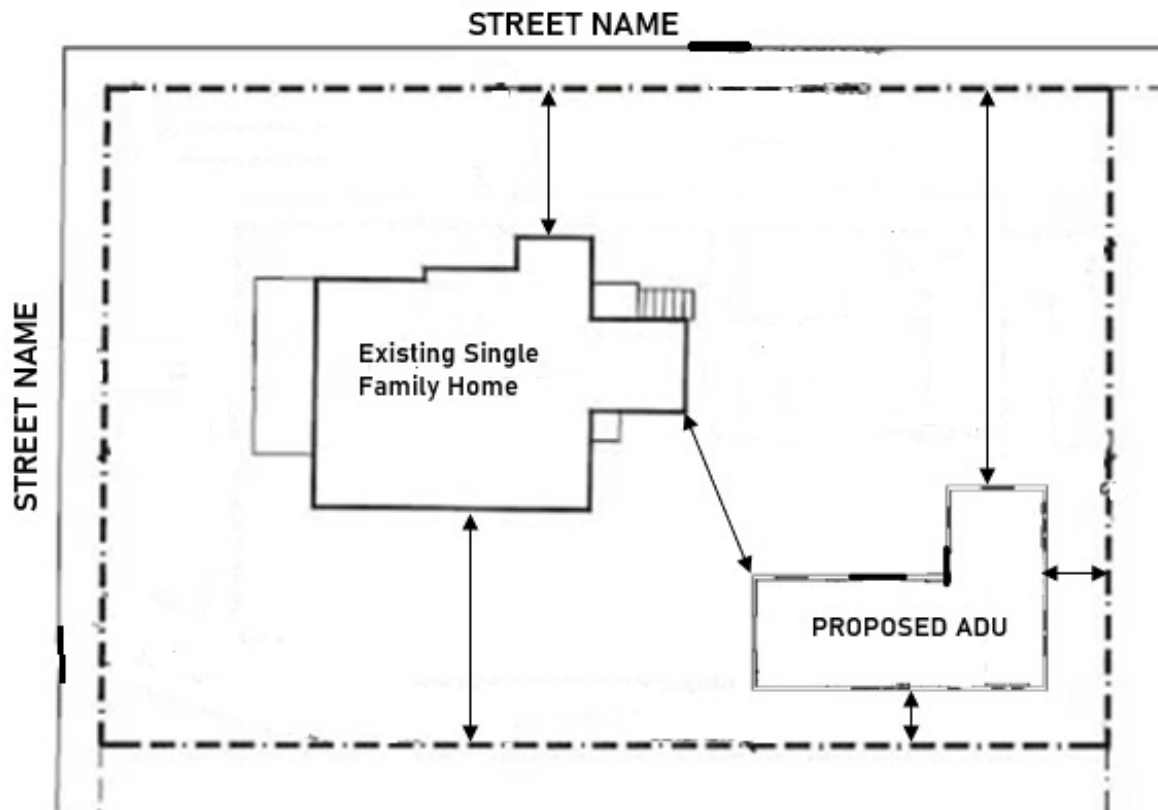
1. **Copy of New Address Assignment Letter**
2. **If New Meter: Southern California Edison Approval:** Email approval from SCE for location of proposed ADU **OR** MVU Approval.
3. **If Septic:** Approved Plans from Environmental Health
4. **Water/Sewer:** 1st Release/Clearance
5. **Grading Plans:** Required for earthwork exceeding 50 cubic yards.
6. **ADU Submittal Checklist/Acknowledgement**

Uploads required as [SUPPORTING DOCUMENTS](#)

1. **Title 24 Energy Calculations**
2. **Fire Requirements**
3. **Soils Report**
4. **ADU Options Selection**
5. **Roof Trusses**, if applicable
6. **Fire Flow Letter**



SAMPLE SITE PLAN



SAMPLE PLOT PLAN